

AGENDA

THE **BOARD OF ADJUSTMENT** WILL ASSEMBLE FOR A HEARING OF APPEALS FROM THE AITKIN COUNTY ZONING ORDINANCE ON May 6, 2026 **AT 4:00 P.M.** IN THE **AITKIN COUNTY GOVERNMENT CENTER BOARD ROOM, 307 SECOND STREET NW, AITKIN, MN 56431**. THE FOLLOWING APPLICATIONS WILL BE REVIEWED.

1. Call the meeting to order.
2. Roll call.
3. Approve the agenda for the May 6, 2026 Board of Adjustment meeting.

Old Business:

4. JOHN W & KAREN F WILLIAMS TRUSTEES, 7100 TRALEE DR, EDINA, MN 55439, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Farm Island) to construct a 32 foot by 46 foot second story addition and a 12 foot by 21 foot residence addition on an existing nonconforming residence located 52 feet from the ordinary high water level; and an after-the-fact variance from the required 100 foot ordinary high water level setback to a setback distance of 52 feet for a 248 square foot accessory building, in an area zoned shoreland. .27 AC OF LOT 3 IN DOC 155367 AND .42 AC OF LOT 3 AS IN DOC 285452 & 283106, Section Twenty-eight (28), Township Forty-six (46), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000046

New Business:

5. NALEE VUE, 3915 FALLGOLD PARKWAY N, BROOKLYN PARK, MN 55443, is requesting an after the fact variance from Section 6.22 C (1 & 2) of the Shoreland Management Ordinance for stairs and landings, in an area zoned shoreland. LOT 5 BLOCK 1 SUNSET KNOLL. Section Fourteen (14), Township Forty-nine (49), Range Twenty-six (26), Aitkin County, MN.

APP-2026-000078

6. MARCUS E & AMY E FRANA, 9056 MCGUFFEY ROAD, EDEN PRAIRIE, MN 55347, are requesting a variance from the required 30 foot bluff setback to construct a 300 square foot deck and a 40 square foot residence addition located within a bluff; and an after-the-fact variance from the required 30 foot bluff setback for a 96 square foot residence addition located within a bluff, in an area zoned shoreland. PT OF LOT 6 AS DESCR IN DOCS 484203 & 484345. Section Six (6), Township Forty-six (46), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000081

7. KRISTEN & FRANK SALAVA AND EARL CARLSON, 2118 CYPRESS STREET, LINO LAKES, MN 55038, are requesting a variance from Section 8.11 of the Shoreland Management Ordinance for Change of use of an existing nonconforming accessory structure, in an area zoned shoreland. LOT 8 FELKNORS TOWNLINE SHORES. Section Eighteen (18), Township Forty-eight (48), Range Twenty-four (24), Aitkin County, MN.

APP-2026-000139

8. GARY & STACY ENG, 37875 495TH LN, PALISADE, MN 56469, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Round) to construct a 1534 square foot residence addition on an existing nonconforming residence located 55 feet from the ordinary high water level, in an area zoned shoreland. .49 AC LOT 2 IN DOC 429393. Section Sixteen (16), Township Forty-nine (49), Range Twenty-six (26), Aitkin County, MN.

APP-2026-000147

9. Approval of minutes, April 1, 2026.

10. Adjourn.

AITKIN COUNTY ZONING

NOTICE OF HEARING

THE **BOARD OF ADJUSTMENT** WILL ASSEMBLE FOR A HEARING OF APPEALS FROM THE AITKIN COUNTY ZONING ORDINANCE ON May 6, 2026 **AT 4:00 P.M.** IN THE **AITKIN COUNTY GOVERNMENT CENTER BOARD ROOM, 307 SECOND STREET NW, AITKIN, MN 56431**. THE FOLLOWING APPLICATIONS WILL BE REVIEWED.

JOHN W & KAREN F WILLIAMS TRUSTEES, 7100 TRALEE DR, EDINA, MN 55439, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Farm Island) to a setback distance of 55 feet to construct a 32 foot by 46 foot second story addition and a 12 foot by 21 foot residence addition on an existing nonconforming residence located 39 feet from the ordinary high water level, which is in the shore impact zone. .27 AC OF LOT 3 IN DOC 155367 AND .42 AC OF LOT 3 AS IN DOC 285452 & 283106, Section Twenty-eight (28), Township Forty-six (46), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000046

NALEE VUE, 3915 FALLGOLD PARKWAY N, BROOKLYN PARK, MN 55443, is requesting an after the fact variance from Section 6.22 C (1 & 2) of the Shoreland Management Ordinance for stairs and landings, in an area zoned shoreland. LOT 5 BLOCK 1 SUNSET KNOLL. Section Fourteen (14), Township Forty-nine (49), Range Twenty-six (26), Aitkin County, MN.

APP-2026-000078

MARCUS E & AMY E FRANA, 9056 MCGUFFEY ROAD, EDEN PRAIRIE, MN 55347, are requesting a variance from the required 30 foot bluff setback to construct a 300 square foot deck and a 40 square foot residence addition located within a bluff; and an after-the-fact variance from the required 30 foot bluff setback for a 96 square foot residence addition located within a bluff, in an area zoned shoreland. PT OF LOT 6 AS DESCR IN DOCS 484203 & 484345. Section Six (6), Township Forty-six (46), Range Twenty-seven (27), Aitkin County, MN.

APP-2026-000081

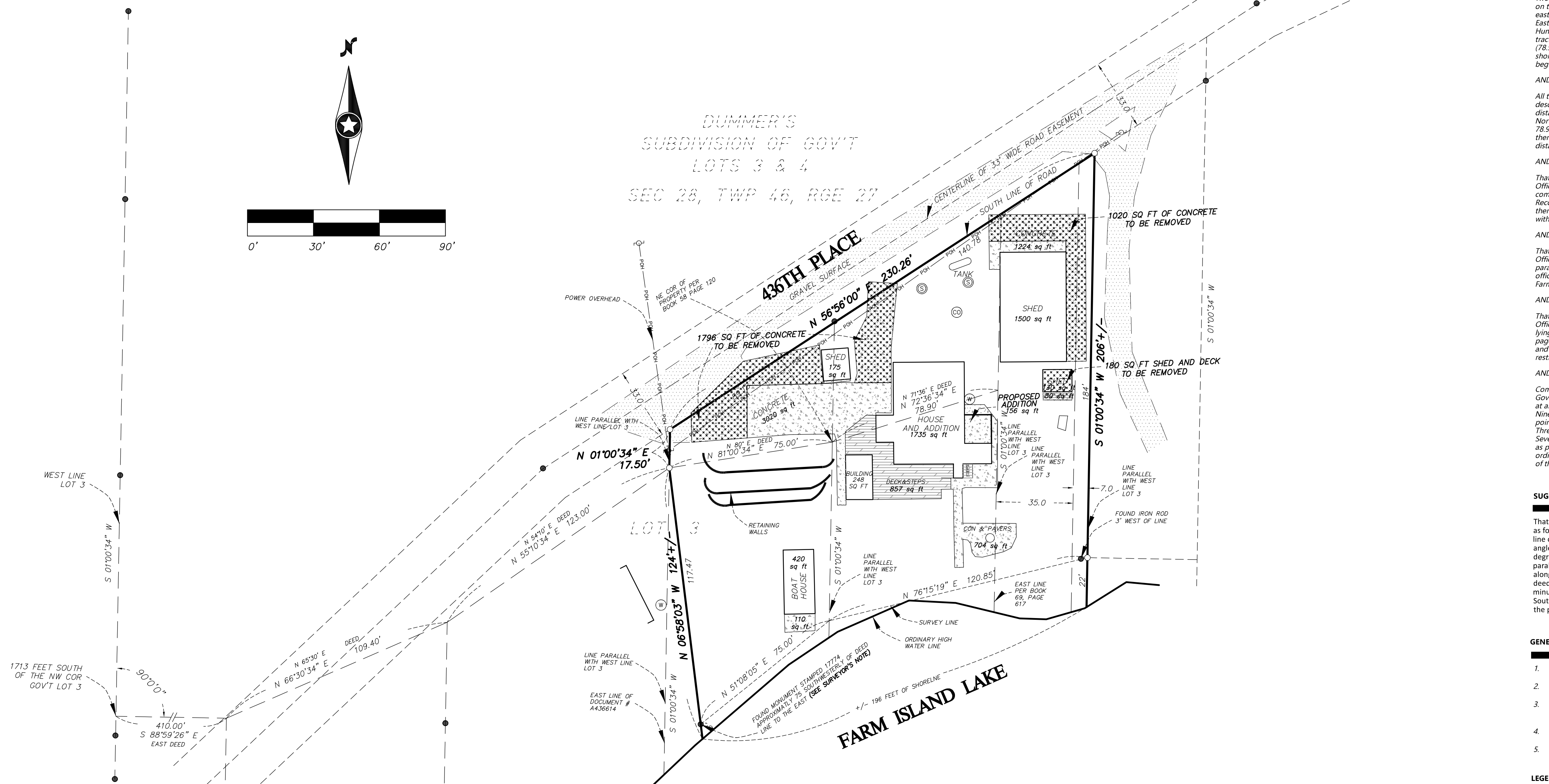
KRISTEN & FRANK SALAVA AND EARL CARLSON, 2118 CYPRESS STREET, LINO LAKES, MN 55038, are requesting a variance from Section 8.11 of the Shoreland Management Ordinance for Change of use of an existing nonconforming accessory structure, in an area zoned shoreland. LOT 8 FELKNORS TOWNLINE SHORES. Section Eighteen (18), Township Forty-eight (48), Range Twenty-four (24), Aitkin County, MN.

APP-2026-000139

GARY & STACY ENG, 37875 495TH LN, PALISADE, MN 56469, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Round) to construct a 1534 square foot residence addition on an existing nonconforming residence located 55 feet from the ordinary high water level, in an area zoned shoreland. .49 AC LOT 2 IN DOC 429393. Section Sixteen (16), Township Forty-nine (49), Range Twenty-six (26), Aitkin County, MN.

APP-2026-000147

AITKIN COUNTY ZONING



EXISTING LEGAL DESCRIPTION: (PER DOCUMENT # A461255)

Approximately 16/100ths of an acre of land in Lot Three (3) of Dummer's Subdivision of Government Lots Three (3) and Four (4) of Section Twenty-eight (28), Township Forty-six (46), Range Twenty-seven (27), Aitkin County, Minnesota, described as follows: Commencing at a point on the West line and Seventeen Hundred Thirteen (1713) feet South of the Northwest corner of said Government Lot 3, thence running east at an angle of Ninety Degrees (90°) a distance of Four hundred ten (410) feet, thence North Sixty-five Degrees Thirty Minutes (65°30') East a distance of One Hundred Nine and 4/10ths (109.4) feet, thence North Fifty-four Degrees Ten Minutes (54°10') East a distance of One Hundred Twenty-three (123) feet, thence North Eighty Degrees (80°) East a distance of Seventy-five (75) feet to the point of beginning of the tract to be hereby described, thence North Seventy-one Degrees Thirty-six Minutes (71°36') East a distance of Seventy-eight and 9/10ths (78.9) feet, thence South parallel with the West line of said Government Lot 3 a distance of One Hundred (100) feet more or less to the shore of Farm Island Lake, thence in a Southwesterly direction along the shore of said lake to a point due South of the said point of beginning, thence North parallel with the East line of the hereby described tract to the point of beginning.

AND

All that part of Lot 3 of Dummer's Subdivision of Government Lots 3 and 4 in Sec. 28, Twp. 46, Rge. 27, Aitkin County, Minnesota, described as follows: Commencing at a point 1713 feet South of the Northwest corner of said Government Lot 3, thence East 90° for a distance of 410 feet; thence North 65°30' East for a distance of 109.4 feet; thence North 54° 10' East for a distance of 123 feet; thence North 80° East for a distance of 75 feet to the point of beginning of the tract to be described; thence North 71°36' East for a distance of 78.9 feet; thence North parallel with the West line of said Government Lot 3 for a distance of 76 feet to the South line of the public road; thence Southwesterly along the South right of way line of said road to a point due North of the point of beginning, thence South for a distance of 50 feet to the point of beginning; containing 11/100ths of an acre, more or less.

AND

That part of Lot 3, Dummer's Subdivision of Lots 3 & 4, Sec. 28 T. 46 R. 27 W. of 4th P.M., according to the plat of record on file in the Office of the County Recorder, in and for Aitkin County, Minnesota, described as follows: Beginning at the iron monument at the northeast corner of the property deeded to L.P. Kingston by the deed recorded in Book 58 of Deeds, page 120, in the office of said County Recorder; thence South 80 degrees West, assumed bearing, 75 feet along the North line of said Kingston property to an iron monument; thence North, parallel to the West line of Lot 3, said plat, to the existing, traveled road; thence Easterly along said road to its intersection with a line bearing north from the point of beginning; thence South to the point of beginning.

AND

That part of Lot 3, Dummer's Subdivision of Lots 3 & 4, Sec. 28 T. 46 R. 27 W. of 4th P.M., according to the plat of record on file in the Office of the County Recorder, in and for Aitkin County, Minnesota, described as follows: A 35 foot wide strip of land lying adjacent to, parallel with, and Easterly of the East line of the tract deeded to Zellman by the deed recorded in Book 69 of Deeds, page 617, in the office of said County Recorder. Said 35 foot wide strip to be terminated on the North by the existing, traveled road and on the South by Farm Island Lake. Said strip being 200 feet, more or less, in length.

AND

That part of Lot 3, Dummer's Subdivision of Lots 3 & 4, Sec. 28 T. 46 R. 27 W. of 4th P.M., according to the plat of record on file in the Office of the County Recorder, in and for Aitkin County, Minnesota, described as follows: The Easterly 7 feet of a 42 foot wide strip of land lying adjacent to, parallel with, and Easterly of the East line of the tract deeded to Zellman by the deed recorded in Book 69 of Deeds, page 617, in the office of said County Recorder. Said 7 foot wide strip to be terminated on the North by the existing, traveled road and on the South by Farm Island Lake. Said strip being 210 feet, more or less, in length. Subject to any easements, reservations, or restrictions of record.

AND

Commencing at a point on the West line and One Thousand Seven Hundred Thirteen (1713) feet South of the Northwest corner of Government Lot Three (3), Section Twenty-eight, Township Forty-six (46), Range Twenty-seven (27), Aitkin County, Minnesota; thence East at an angle of 90 degrees a distance of Four Hundred Ten (410) feet, thence North 65 degrees 30 minutes East a distance of One Hundred Nine and Four Tenths (109.4) feet, thence North 54 degrees and 10 minutes East a distance of One Hundred Twenty-three (123) feet, to point of beginning; thence North 80 degrees East a distance of Seventy-five (75) feet, thence South parallel to the West line of said Lot Three (3) a distance of Ninety-two (92) feet to shore of Farm Island Lake; thence Southwesterly following shore of lake for a distance of Seventy-five (75) feet; thence North One Hundred Fifty (150) feet, more or less, to the point of beginning, said land also being described as part of Lot Three (3) of Dummer's Subdivision of Lots Three and Four (3 & 4) of Section 28, Township 46, Range 27. Subject to all ordinances, reservations, restrictions and easements now of record and subject to any established road or highway over and across any part of the premises.

SUGGESTED LEGAL DESCRIPTION:

That part of Lot 3 Dummer's Subdivision of Government Lots 3 and 4 of Section 28, Township 46, Range 27, Aitkin County, Minnesota, described as follows: Commencing at a point on the west line of said Lot 3, 1713 feet south of the Northwest corner of said Government Lot 3, the west line of said Lot 3 is assumed to bear South 01 degree 00 minutes 34 seconds West; thence South 88 degrees 59 minutes 26 seconds East, at an angle of 90 degrees, a distance of 410.00 feet; thence North 66 degrees 30 minutes 34 seconds East, a distance of 109.40 feet; thence North 55 degrees 10 minutes 34 seconds East, a distance of 123.00 feet to the point of beginning; thence North 01 degree 00 minutes 34 seconds East, parallel with the west line of said Lot 3, a distance of 17.50 feet to the south line of road; thence North 56 degrees 35 minutes 00 seconds East, along said south line of road, a distance of 230.26 feet to the east line of a line that is 42 feet easterly and parallel with the east line of the tract deeded to Zellman by the deed recorded in Book 69 of Deeds, page 617, in the Office of the County Recorder; thence South 01 degree 00 minutes 34 seconds West, parallel with the west line of said Lot 3, a distance of 206 feet, more or less, to the shore of Farm Island Lake; thence Southwesterly along the shore of Farm Island lake to the intersection with a line that bears South 06 degrees 58 minutes 03 seconds East from the point of beginning; thence North 06 degrees 58 minutes 03 seconds West, a distance of 124 feet, more or less to the point of beginning.

- GENERAL NOTES**
- No search for easements or restrictions, recorded or unrecorded, was made by the Surveyor.
 - Bearings shown are based upon the Aitkin County Coordinate System.
 - The underground utilities shown have been located from field survey information. The surveyor makes no guarantees that the utilities shown comprise all such utilities in the area, either in service or abandoned.
 - No wetlands were delineated as a part of this survey.
 - Total area of subject property: +/- 29,692 Sq. Ft. / 0.68 Acres.

- LEGEND**
- DENOTES SET 1/2"x14" IRON PIPE WITH CAP # 50319
 - ⊙ DENOTES SEPTIC INSPECTION PIPE
 - DENOTES FOUND MONUMENT
 - ⊖ DENOTES WELL
 - ⊕ DENOTES POWER POLE
 - ⊙ DENOTES SEPTIC MANHOLE

SURVEYOR'S NOTE

The call of "Thence Southwesterly following shore of lake for a distance of Seventy-five (75) feet", which is contained within the existing legal description for subject property is an ambiguous call due to the constantly moving shoreline. During the course of the field work the surveyor found a monument stamped 17774 set by Man Kohout approximately 75 feet along the shore. The surveyor prepared a Suggested Legal Description to this found monument. The surveyor suggest seeking legal advise.

EXISTING IMPERVIOUS CALCULATIONS			
EXISTING	IMPERVIOUS AREA (SQ. FT.)	GROSS AREA (SQ. FT.)	PERCENT IMPERVIOUS
BUILDINGS	4,209	29,692	14.18%
PAVERS/CONCRETE	5,214	29,692	17.56%
DECK	907	29,692	3.05%
TOTAL	10,330	29,692	34.79%

PROPOSED IMPERVIOUS CALCULATIONS			
EXISTING	IMPERVIOUS AREA (SQ. FT.)	GROSS AREA (SQ. FT.)	PERCENT IMPERVIOUS
BUILDINGS	4,234	29,692	14.26%
PAVERS/CONCRETE	2,242	29,692	7.55%
DECK	857	29,692	2.89%
TOTAL	7,333	29,692	24.70%

Property Location

Property:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	35-1-089800	49593 358th PI PALISADE, MN 56469	WAUKENABO TWP	VUE, NALEE	VUE, NALEE	LOT 5 BLK 1	SUNSET KNOLL	S:14 T:49 R:26	RD	WAUKENABO LAKE
Driving directions to the proposed project from Aitkin:	From Aitkin take 169 N to 493rd. Take left and follow 493rd. It will eventually turn right and become 358th Place. Property is 3/4 of the way towards the cul-de-sac on the left-hand side.									
Is the above parcel located in the Shoreland Zoning District?	<u>Yes</u>									

Detailed Narrative

<p>Enter a Detailed Narrative (If you have a prepared narrative please state "See attached" and attach the document below):</p>	<p>My husband and I bought this property on 9/30/2024. It is our lake home. We been approved by the county for STR. However, one condition was that we get a variance for an existing stairway with a deck that goes to the lake from our backyard to Lake Waukenabo. The stair and deck was built new prior to our purchase by the previous owner. We are not building or adding anything, just getting a variance for the stair and deck since it was professionally built but slightly larger than what is allowed.</p>
<p>Attach prepared narrative here:</p>	<div style="border: 1px dashed black; padding: 10px;"><p>File 1: EXTERIOR_STAIRS_QUOTE.pdf</p><p>File 2: Platform.jpg</p><p>File 3: Shoreline_District_Summary.pdf</p><p>File 4: Stairs_1.jpg</p><p>File 5: Stairways_landing_lift.pdf</p></div>
<p>Provide the Ordinance(s) and the Section(s) of the Ordinance(s) from which you are requesting a variance:</p>	<p>Section 5.1 and 6.2 of the Shoreland Management Ordinance</p>

Supplemental Data

<p>Attach completed form here:</p>	<div style="border: 1px dashed black; padding: 10px;"><p>File 1: Supplemental_Data_Form.pdf</p><p>File 2: Variance_Request.pdf</p></div>
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A Scaled Drawing or Survey

<p>Attach a Scaled Drawing or Survey:</p>	<div style="border: 1px dashed black; padding: 10px;"><p>File 1: Lot_Drawing.pdf</p></div>
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Side Profile Sketch of the Structure

Attach a side profile sketch of your proposed structure or addition here (if applicable):	<p>File 1: Side_View_Sketch.pdf</p> <p>File 2: Stair_Case_Layout.pdf</p>
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Certificate of Septic Compliance

Attach a copy of one of the following, if applicable: - A current compliance inspection on an existing septic system. - A design for a new/replacement septic system.	<p>File 1: COPY_OF_PERMITS_SEPTIC.pdf</p> <p>File 2: SEPTIC_CERTIFICATION_MAP_LOCATION_2023.pdf</p>
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Shoreland Performance Worksheet

Complete the Shoreland Performance Worksheet and attach here:	<p>File 1: shoreland-performance_-_Not_Applicable.pdf</p> <p>File 2: shoreland-performance.pdf</p>
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Standard Erosion Control Plan

Attach the completed Standard Erosion Control Plan here:	<p>File 1: erosion-control-plan.pdf</p>
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Property Deed

Attach the property deed:	File 1:  Deed.pdf
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Other

Attach "Other" information (if necessary):	File 1:  Platform.jpg File 2:  Stairs_1.jpg File 3:  Stairs.jpeg File 4:  Tax_Information.pdf
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Terms

General Terms

<p>The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.</p>
<p>Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.</p>
<p>I acknowledge that by submitting this application, the application and its attachments are public information.</p>

Invoice #70132 (03/11/2026) Expected Payment Method: Pay Online - Card or ECheck

Charge	Cost	Quantity	Total
Recording Fee added 03/11/2026 3:10 PM (Nonrefundable)	\$46.00	x 1	\$46.00
Variance added 03/11/2026 3:10 PM (Nonrefundable)	\$650.00	x 1	\$650.00
Grand Total			
			Total
			\$696.00
			Payment 03/11/2026
			\$696.00
			Due
			\$0.00

Results ([Go to top](#))
 Signature accepted
 Failed to send [Variance Ready for Action](#) notification to:

Approvals

Approval	Signature
Applicant	Nalee N. Vue - 03/11/2026 3:33 PM 53157c0512495cf450c278dc977eb650 738a68f3ab4b84cebfd7b78049d51b79
#1 Administrative Review	Kim Burton - 03/20/2026 8:46 AM 200bb310290c8b5e7af06132bf377cfd 35f58b4b2d0c0acd1e32633bfc59f054
#2 Board of Adjustment Approval	

Public Notes

Text:	<div style="border: 1px solid black; height: 300px;"></div>
File(s):	<div style="border: 1px dashed black; height: 20px;"></div>

Admin Checklist

This review has been started by:	Kim Burton ▼
Zoning District of project location:	Shoreland ▼
Project located in the floodplain?	No ▼
Is the parcel a Lot of Record before 1-21-92 or have alternate sites been identified?	Yes ▼
Is this an after-the-fact application?	Yes ▼

Numbers

	Current Number	Next from Sequence
UID #	221233	<i>not applicable</i>
App. #	<input type="text" value="2026-000078"/>	<input type="button" value="««"/> 2026-000094
Permit #	<input type="text"/>	<input type="button" value="««"/> 2026-0074

Print View

R & R LANDSCAPING &
 CONSTRUCTION
 42880 260TH LN
 MN 56431

Estimate

Date	Estimate #
8/28/2023	36

Name / Address
eve wagner

Project

Description	Qty	Rate	Total
to build a 26 run a 14ft run 26ft run 21ft run of 4ft stairs with rope railing on 1 side 2 4x6 walkways a 120 square ft deck out of brown treat material concrete cookies		46,721.00	46,721.00
half down required		0.00	0.00
		Total	\$46,721.00



Stairways, Landings and Lifts

What is the best way to access the water from steep slopes or bluffs?

Steep slopes and bluffs pose problems for access to lakes or rivers. Besides the practical difficulties for property owners to traverse slippery slopes, the soils on slopes and bluffs are highly susceptible to erosion. Stairways with landings or lift systems can provide safe access to the water in areas with steep topography. If designed and installed properly, they can blend in with the natural surroundings and reduce erosion in highly traveled areas by minimizing soil compaction.



Design Standards

The statewide shoreland rules contain standards for stairways, lifts and landings, that are implemented through local ordinances. Generally, these structures require a permit from your local government and must meet the following standards:

- Stairways and lifts must be no wider than **4 feet** on residential lots. Wider stairways may be used for commercial or public open-space recreational properties and planned unit developments (if allowed by local ordinance).
- Landings for stairways and lifts on residential lots must not exceed **32 square feet** but may be larger for commercial properties, public open-space recreational properties, and planned unit developments (check local ordinances).
- **Canopies or roofs are not allowed** on any stairways, lifts, or landings.

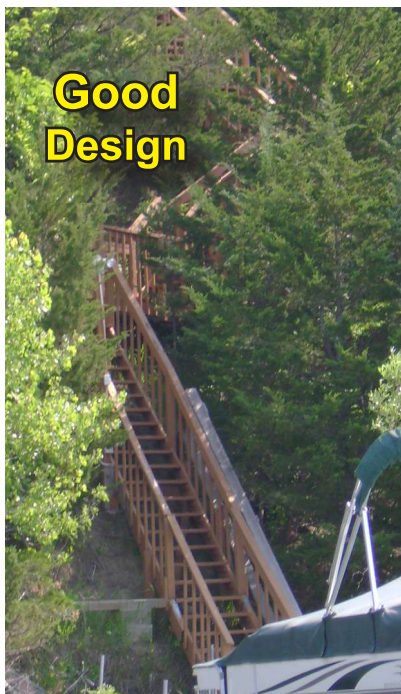
Placement & Installation

Stairways, landings, and lifts should be located where they will require minimal disturbance to existing topography and vegetation, and installed properly as recommended below:

- Place stairways, landings, and lifts in the least conspicuous portion of the lot to mask their view from the water during summer leaf-on conditions.
- Avoid mature trees and native vegetation whenever practicable.
- Follow the natural contours of the land and don't alter the topography.
- Designing stairways that run straight down a slope, or stairways that follow the valley where water flows down the hill may encourage gully erosions. The placing of stairways can shade vegetation making the slope more erodable.
- Install stairways, landings, and lifts on posts or pilings above the ground surface or worked into the slope at grade.
- Take precautions to prevent erosion and runoff before, during, and after construction.



Steep Slopes: Foot traffic on steep slopes can lead to soil compaction and erosion.



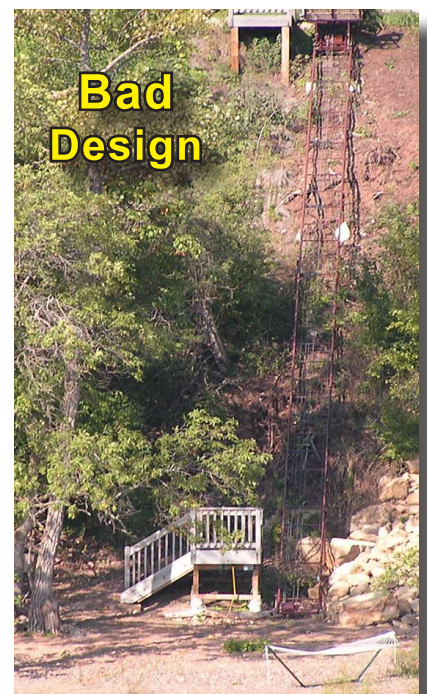
Good Design



Stairway (above) This at-grade stone stairway is surrounded by thick vegetation that minimizes the impact of runoff.

Stairways: (left) The stairway angling back and forth on the slope, with landings, as well as ample vegetation, reduces erosion from runoff. Landings and two railings on the angled stairway make it more accessible.

Lifts: (right) Note how the lack of adequate vegetation to the side and below the base of the lift leads to severe erosion.

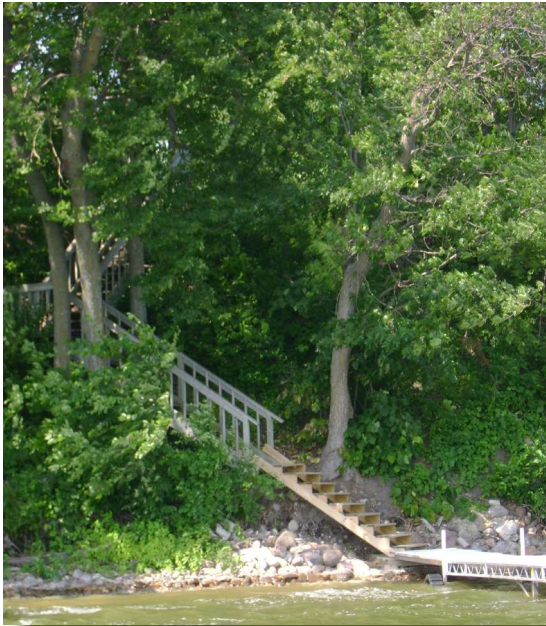


Bad Design

Stairways, Landings and Lifts

Vegetation for Screening & Slope Protection

Native trees, shrubs, and groundcover serves many important functions. Along the shoreline, it acts as a buffer to protect water quality, preserve habitat for fish and wildlife, enhance property values, and contributes to the scenic beauty of riparian home sites. On steep slopes and bluffs, vegetation is the first line of defense for stabilizing fragile soils; minimizing erosion; and slowing storm water runoff near rivers, lakes, and wetlands.

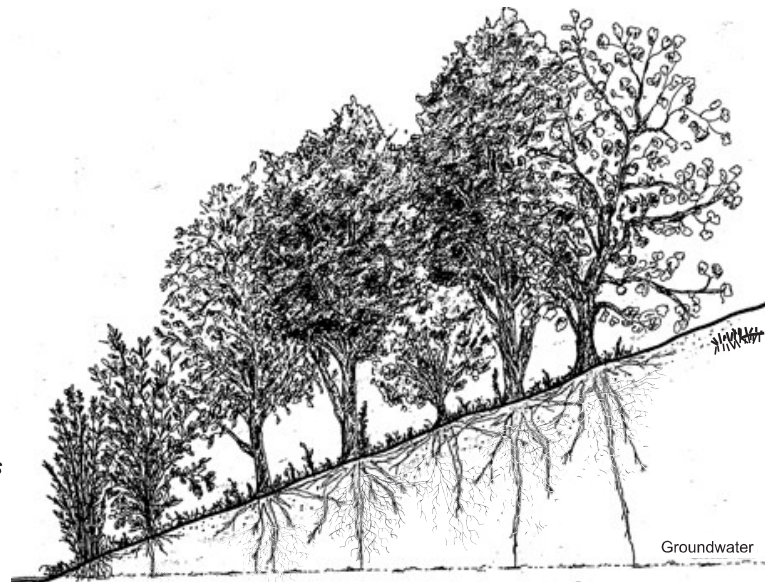


Vegetation surrounding a stairway: Mature vegetation above and around this zig-zag stairway protects the slope from erosion.

If a stairway with landings or a lift system is needed, it usually means the slope is steep enough that it requires deep-rooted vegetation to prevent erosion. Trying to maintain turf grass on steep slopes by mowing is difficult at best, and grass will not adequately control erosion or filter and absorb storm water runoff. Where vegetation is lacking or must be removed for construction, native trees, shrubs, and groundcover should be planted to protect the soils around the structure and screen the structures from the water to restore the natural appearance of the property. Native vegetation is ideal because it is adapted to local soil and water conditions, generally has deep roots to stabilize the slope, and requires little maintenance once established.

Planting and maintaining native vegetation is less expensive and easier than restoring an eroded slope and replacing unstable stairways, landings, or lift systems. Staff from your local DNR or county soil and water conservation district can help you select plants suitable for your site conditions.

Mature vegetation: The planting sketch (right) for a slope near water displays woody species with long roots that stabilize the slope. The sketch includes cottonwoods, a boxelder, a sycamore, and three types of willows. Mature trees and grasses are aesthetically pleasing and the deep root systems stabilize the slope against erosion better than turf grass.



A good source for additional information on erosion control is Minnesota PCA's BMP manuals (www.pca.state.mn.us)

DNR Contact Information



DNR Ecological and Water Resources
website and a listing of Area Hydrologists:
<http://mndnr.gov/waters>

DNR Ecological and Water Resources
500 Lafayette Road, Box 32
St. Paul, MN 55155
(651) 259-5100

For information about aquatic plant management permits:
www.mndnr.gov/eco

DNR Information Center

Twin Cities: (651) 296-6157
Minnesota toll free: 1-888-646-6367
Telecommunication device for the deaf (TDD): (651) 296-5484
TDD toll free: 1-800-657-3929

This information is available in an alternative format on request.

Equal opportunity to participate in and benefit from programs of the Minnesota Department of Natural Resources is available regardless of race, color, national origin, sex, sexual orientation, marital status, status with regard to public assistance, age, or disability. Discrimination inquiries should be sent to Minnesota DNR, 500 Lafayette Road, St. Paul, MN 55155-4049; or the Equal Opportunity Office, Department of the Interior, Washington, DC 20240.

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Variance Request – Shoreline Ordinance 66.2C (After the fact)

My name is Nalee Vue, and I am the owner of the cabin located at 49593 358th Place, Palisade, MN 56469. I purchased this property on September 30, 2024, as a secondary home for my family.

This is a beautiful property with an amazing lake view from the bluff. My family and I fell in love with the property because of the scenic view from the deck and the newly constructed stairway to the lake that was installed by the previous owners prior to our purchase.

When I applied for a Short-Term Rental (STR) permit to list the cabin on Airbnb, the county informed me that the stairway leading to the lake, which was installed before I purchased the property, extends slightly outside of the conforming requirements. The stairway appear to be newly constructed and are well built, so it requires approval through a variance.

Additionally, several neighboring properties have similar deck and stairway structures along the bluff and shoreline. Because the stairway existed prior to my ownership and is consistent with nearby properties, I am respectfully applying for a variance so that the existing stairway can remain in place and be approved by the county.

My goal is simply to ensure that the existing structure is compliant and properly approved while maintaining the safety and integrity of the property.

Building Coverage: Not to exceed 15%

Lot size: 1.5 Acres

Lots Acres: 1.502

Lot Area: 65,427 sq ft

Main House Base Area :	1,536 sq ft
Detached Garage:	1,176 sq ft
Little Cabin:	368 sq ft
Deck / Stairs to lake:	468 sq ft
Garage Parking Pad:	1,120 sq ft
Side walk	519sq ft
Drive way	910 sq ft

Total area of coverage 6,097 sq ft / 65,427 sq ft = 9.32% of Building Coverage

PART I: SUPPLEMENTAL DATA TO VARIANCE APPLICATION

Aitkin County Environmental Services
307 Second St. NW, Room 219, Aitkin, MN 56431
Phone: 218.927.7342 Fax: 218.927.4372
www.co.aitkin.mn.us

Note: Place an “X” by each item below that applies to your variance request. Then, fill out **only** the applicable following section(s) that apply, as directed. **If a section does not apply to your request, leave it blank.**

What is the reason(s) for applying for the variance? Place an “X” by each applicable item.

- Setback issues for a proposed new structure: **Complete Section 1**
- Setback issues for an alteration to an existing nonconforming structure: **Complete Section 2**
- Setback issues for a septic system: **Complete Section 3**
- Land alteration: **Complete Section 4**
- Creating a lot not in conformance with the minimum Ordinance standards: **Complete Section 5**
- Other: attach separate sheet explaining variance request

Section 1 – New Structure(s)

Check all that apply and fill in requested information:

- Basement
- Crawlspace
- Walk-out Basement
- One Story Level
- Story-and-a-Half Level
- 2nd Story Level

Proposed # of Bedrooms _____ Proposed Structure Height _____ ft.
Existing Total Building Coverage _____% Proposed Total Building Coverage _____%
Existing Total Impervious Surface Coverage _____% Proposed Total Impervious Surface Coverage _____%

“Building Coverage” means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to’s, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

“Impervious surface coverage” means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Structure Type (indicate with or without living quarters) _____

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
_____ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way ___ Twp ___ Co. ___ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 2 – Alteration(s) to Existing Nonconforming Structure(s)

Check all that apply and fill in requested information:

Existing Structure

Basement
 Crawlspace
 Walk-out Basement
 One Story Level
 Story-and-a-Half Level
 2nd Story Level

Proposed Addition(s)

Basement
 Crawlspace
 Walk-out Basement
 One Story Level
 Story-and-a-Half Level
 2nd Story Level

Existing Structure Height _____ ft.

Proposed Addition(s) Height _____ ft.

Existing # of Bedrooms _____

Final # of bedrooms after remodel _____

Existing Building Coverage _____%

Proposed Building Coverage _____%

Existing Total Impervious Surface Coverage _____%

Proposed Total Impervious Surface Coverage _____%

“Building Coverage” means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to’s, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

“Impervious surface coverage” means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Alteration Type _____

_____ Ordinary High Water Level (OHWL)	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Property Line	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Bluff	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Other: _____	Existing Setback _____ ft.	Proposed Setback _____ ft.

Section 3 – Septic System

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance.

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
_____ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 4 – Land Alteration

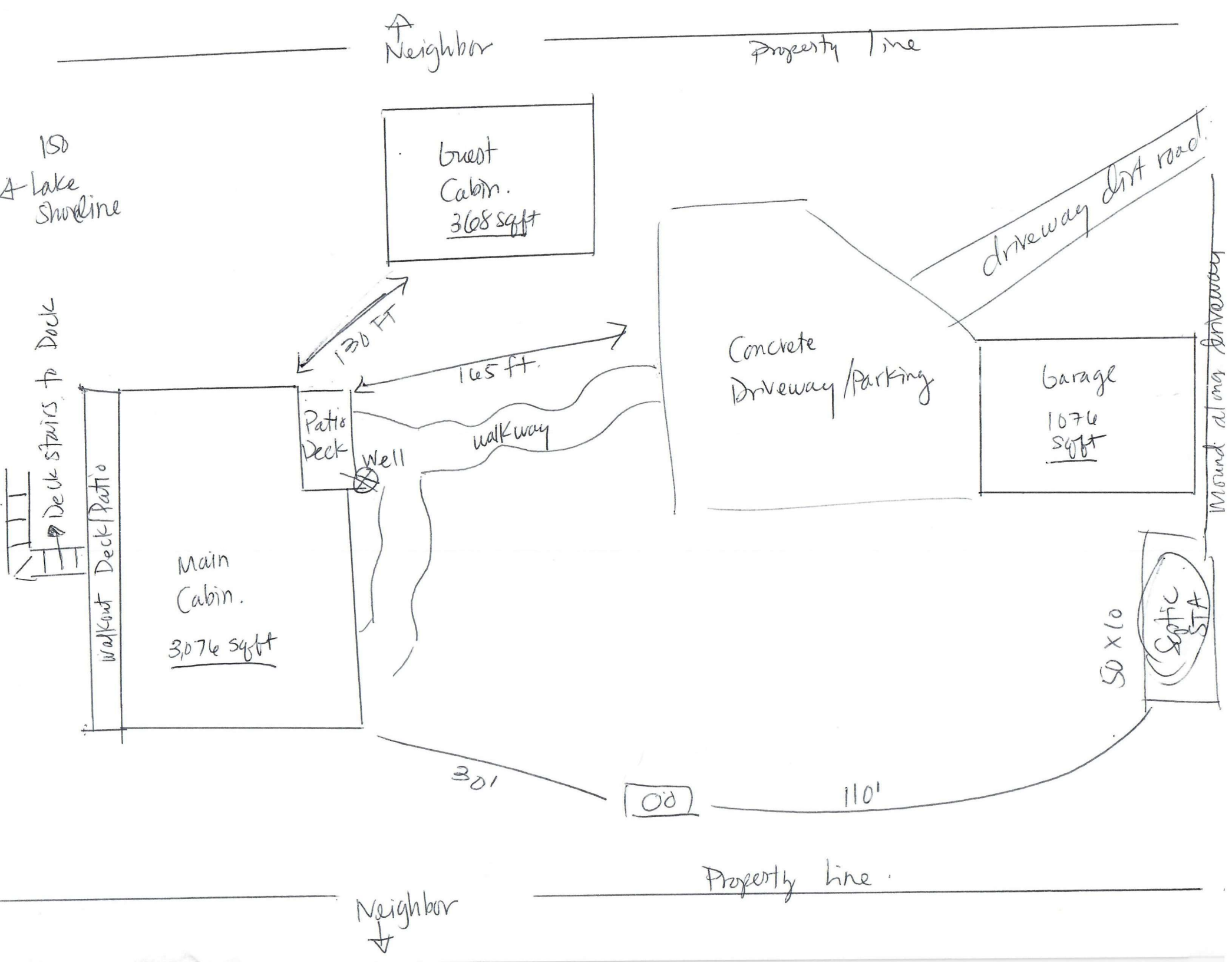
What is your land alteration? Check all categories that apply and indicate the total amount of excavation or placement of fill.

_____ More than 10 cubic yards on steep slopes and shore and bluff impact zones.	Total Cubic Yds. _____
_____ Other: _____	Total Cubic Yds. _____

Section 5 – Creating Nonconforming Lot(s)

Check the item(s) from which you are requesting a variance and fill in the proposed dimensions.

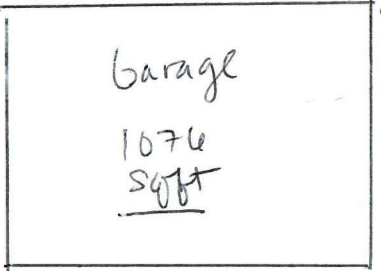
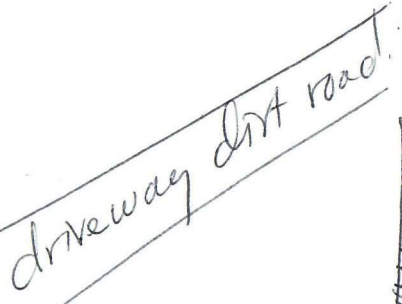
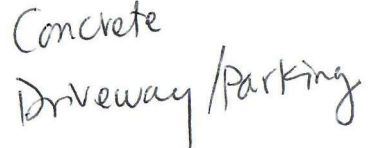
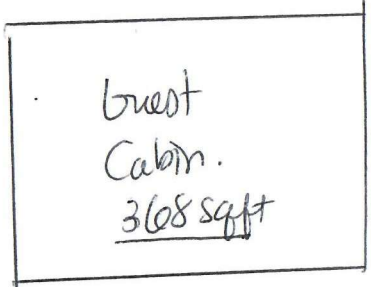
_____ Property Width	Proposed Property Width _____
_____ Property Area	Proposed Property Area _____
_____ (2) Standard Septic Sites	
_____ Legal Access	



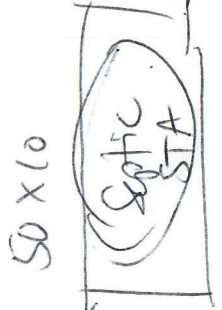
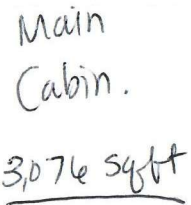
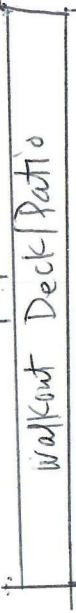
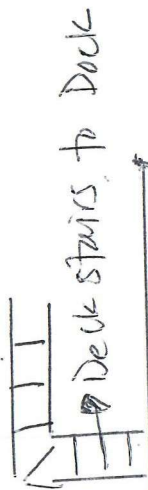
Neighbor
↑

Property line

150
Lake Shoreline
←



Mound along driveway



301

00

110'

Property line

Neighbor
↓

Side View

- 14' - Platform



Post with Ropes



Deck

10 x 12 Deck

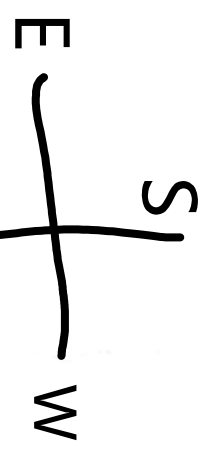
21' ft -

4 x 6

26' ft

Dock Platform

Gradual Slope

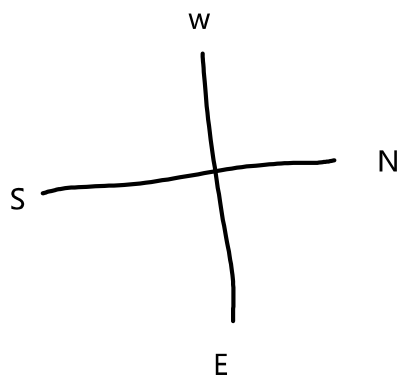
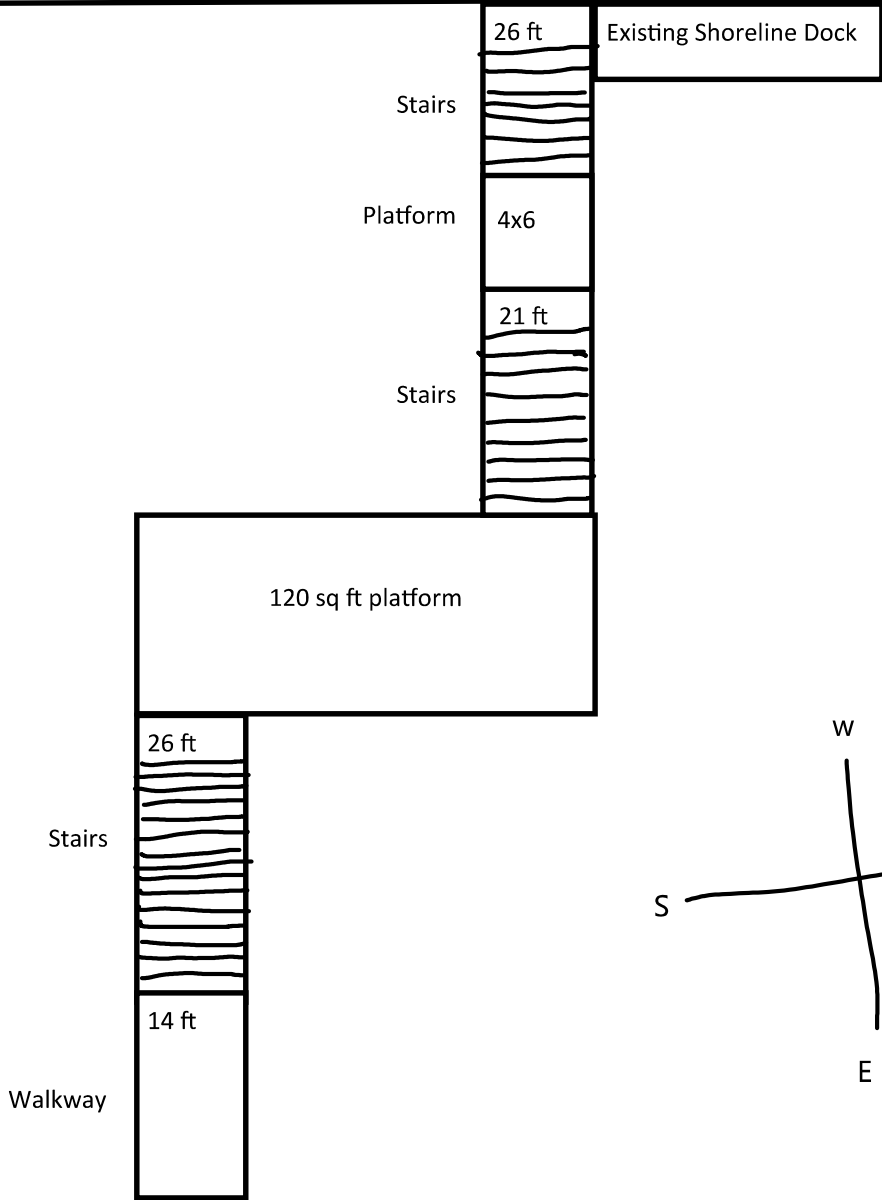


Lake Waukenabo

Waukenabo Lake



150 ft Shoreling





DISCLAIMER:

The septic system inspection conducted for this property meets MPCA requirements for existing systems.

We recommend this system to be serviced and evaluated at least every 36 months by a septic professional.

Any additions to the home or increased use of the home may require an increase in system capacity.

1. Compliance Requirements evaluated as part of this inspection include the verification that the system tanks do not leak below the designed operating depth, the required separation between the bottom of the subsurface distribution medium and the seasonally saturated soils if applicable, no discharge of septage/effluent to the ground surface or surface water and no imminent safety hazards exist. Timber Lakes Septic Inc does not inspect interior pumps, plumbing, or associated components.
2. Certification of this system does not warranty future use beyond the date of inspection. Any system, new or old, can be hydraulically overloaded and discharge to ground surface as a result of increase use (more people in house, faulty plumbing fixtures, change in habits, groundwater infiltration etc), improper maintenance, tree roots, freezing conditions, surface drainage problems, etc. The system can also stop working simply due to its age. The life expectancy of a system is variable and dependent upon the items previously listed. Proper maintenance and water conservation will help contribute to a longer system life.
3. A compliance inspection is not meant to be a test or inspection of longevity of the system. A compliance inspection is for the purpose of verifying if the system is protective of public health and safety as well as protecting the ground water at the date and time the inspection was performed. This inspection is not intended to determine if the system was originally designed or installed to past or present MPCA/Local Government Unit Code requirements. This inspection is not intended to determine if the system was designed and/or installed to support the anticipated flow from buildings as the use of the buildings may have changed since the original design was completed. These changes may include additional bedrooms, occupants, increased use, etc. In addition, this inspection is not intended to determine the quality of the original system design, quality of the construction practices during installation, or quality of materials used.
4. Timber Lakes Septic Inc. has not been retained to warranty, guarantee, or certify the proper functioning of the ISTS system for any period of time beyond the date of inspection or into the future. There are numerous factors which may affect the proper operation of a ISTS System and the inability of Timber Lakes Septic to supervise or monitor the use or maintenance of the ISTS System, the Compliance Report shall not be construed as a warranty or guarantee of future system performance.
5. By accepting this report, the client understands that Timber Lakes Septic will not be responsible for any monetary damages exceeding the fee for services provided.
6. This Report is prepared for the person or rep of the person providing payment for the fees charged.

1. Impact on public health – Compliance component #1 of 5

Compliance criteria:

System discharges sewage to the ground surface	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
System discharges sewage to drain tile or surface waters.	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
System causes sewage backup into dwelling or establishment.	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No

Any "yes" answer above indicates the system is an imminent threat to public health and safety.

Describe verification methods and results:

Attached supporting documentation:

- Other: _____
- Not applicable

2. Tank integrity – Compliance component #2 of 5

Compliance criteria:

System consists of a seepage pit, cesspool, drywell, leaching pit, or other pit?	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
Sewage tank(s) leak below their designed operating depth?	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
If yes, which sewage tank(s) leaks:	

Any "yes" answer above indicates the system is failing to protect groundwater.

Describe verification methods and results:

Attached supporting documentation:

- Empty tank(s) viewed by inspector
- Name of maintenance business: _____
- License number of maintenance business: _____
- Date of maintenance: _____
- Existing tank integrity assessment (Attach)
- Date of maintenance 6/22/2023
(mm/dd/yyyy): (must be within three years)
- (See form instructions to ensure assessment complies with Minn. R. 7082.0700 subp. 4 B (1))*
- Tank is Noncompliant (pumping not necessary – explain below)
- Other: _____

3. Other compliance conditions – Compliance component #3 of 5

3a. Maintenance hole covers appear to be structurally unsound (damaged, cracked, etc.), or unsecured?

Yes* No Unknown

3b. Other issues (electrical hazards, etc.) to immediately and adversely impact public health or safety? Yes* No Unknown

**Yes to 3a or 3b - System is an imminent threat to public health and safety.*

3c. System is non-protective of ground water for other conditions as determined by inspector? Yes* No

3d. System not abandoned in accordance with Minn. R. 7080.2500? Yes* No

**Yes to 3c or 3d - System is failing to protect groundwater.*

Describe verification methods and results:

Attached supporting documentation: Not applicable

4. Operating permit and nitrogen BMP* – Compliance component #4 of 5 Not applicable

Is the system operated under an Operating Permit? Yes No **If “yes”, A below is required**

Is the system required to employ a Nitrogen BMP specified in the system design? Yes No **If “yes”, B below is required**

BMP = Best Management Practice(s) specified in the system design

If the answer to both questions is “no”, this section does not need to be completed.

Compliance criteria:

a. Have the operating permit requirements been met? Yes No

b. Is the required nitrogen BMP in place and properly functioning? Yes No

Any “no” answer indicates noncompliance.

Describe verification methods and results:

Attached supporting documentation: Operating permit (Attach)

5. Soil separation – Compliance component #5 of 5

Date of installation 5/28/1998 Unknown
(mm/dd/yyyy)

Shoreland/Wellhead protection/Food beverage lodging? Yes No

Compliance criteria (select one):

5a. For systems built prior to April 1, 1996, and not located in Shoreland or Wellhead Protection Area or not serving a food, beverage or lodging establishment: Yes No*

Drainfield has at least a two-foot vertical separation distance from periodically saturated soil or bedrock.

5b. Non-performance systems built April 1, 1996, or later or for non-performance systems located in Shoreland or Wellhead Protection Areas or serving a food, beverage, or lodging establishment: Yes No*

Drainfield has a three-foot vertical separation distance from periodically saturated soil or bedrock.*

5c. "Experimental", "Other", or "Performance" systems built under pre-2008 Rules; Type IV or V systems built under 2008 Rules 7080.2350 or 7080.2400 (Intermediate Inspector License required ≤ 2,500 gallons per day; Advanced Inspector License required > 2,500 gallons per day) Yes No*

Drainfield meets the designed vertical separation distance from periodically saturated soil or bedrock.

Attached supporting documentation:

- Soil observation logs completed for the report
- Two previous verifications of required vertical separation
- Not applicable (No soil treatment area)
- _____

Indicate depths or elevations

A. Bottom of distribution media	100
B. Periodically saturated soil/bedrock	97.0'
C. System separation	36"
D. Required compliance separation*	31"

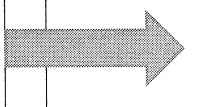
*May be reduced up to 15 percent if allowed by Local Ordinance.

**Any "no" answer above indicates the system is failing to protect groundwater.*

Describe verification methods and results:

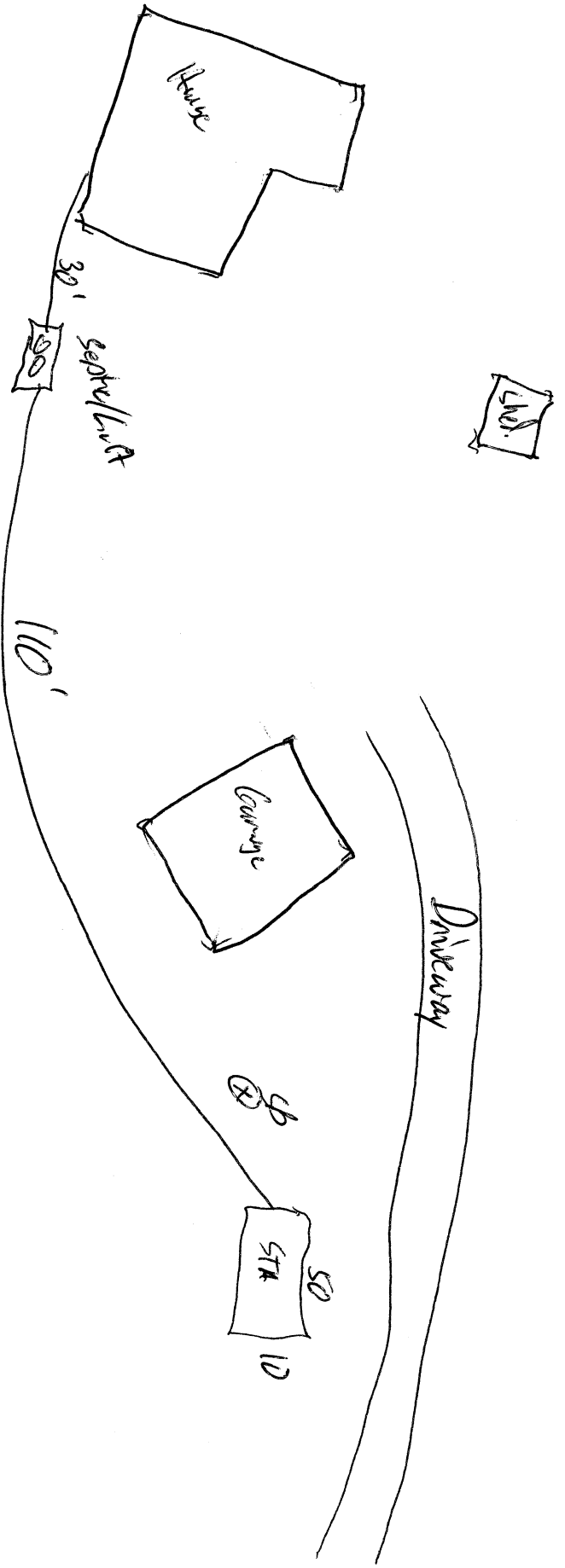
Upgrade requirements: (Minn. Stat. § 115.55) An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance. If the system is failing to protect ground water, the system must be upgraded, replaced, or its use discontinued within the time required by local ordinance. If an existing system is not failing as defined in law, and has at least two feet of design soil separation, then the system need not be upgraded, repaired, replaced, or its use discontinued, notwithstanding any local ordinance that is more strict. This provision does not apply to systems in shoreland areas, Wellhead Protection Areas, or those used in connection with food, beverage, and lodging establishments as defined in law.

SKETCH SHEET AND SOIL BORING LOG



INSPECTOR: Raini Kohl
 DATE: 7/12/23
 PID#: 35-1-089800
 SITE ADDRESS: 49593 358th Pl Palisade, MN 56469
 Benchmark (EL = 100'): Bottom of Rock in STA

Equipment: Bucket Auger
 Elevation of Limiting Layer: 97.0'
 Vegetation: Mowed Grass
 Weather: Sunny & Clear



SOIL BORING #1 EI: 98.0

DEPTH	TEXTURE	COLOR
0-3	Topsoil	10YR3/1
3-12"	Clay Loam	10YR5/3
12-14"	Clay Loam	10YR5/1
	Redox @ 12" EI: 97.0	10YR5/6

Sewage tank integrity assessment form

Subsurface Sewage Treatment Systems (SSTS) Program

Doc Type: Compliance and Enforcement

Purpose: This form *may* be used to certify the compliance status of the sewage tank components of the SSTS. **This form is not a complete SSTS inspection report, only a tank integrity assessment, and may only certify sewage tank compliance status when entirely completed and signed by a qualified professional.** SSTS compliance inspection report forms can be found at: <https://www.pca.state.mn.us/water/inspections>.

Instructions: This form may be completed, and signed, by a Designated Certified Individual (DCI) of a licensed SSTS inspection, maintenance, installation, or service provider business who personally conducts the necessary procedures to assess the compliance status of each sewage tank in the system. Only a licensed maintenance business is authorized to pump the tank for assessment. A copy of this information should be submitted to the system owner and be maintained by the licensed SSTS business for a period of five (5) years from the assessment date.

When this form is signed by a qualified certified professional, it becomes *necessary supporting documentation* to an Existing System Compliance Inspection Report: Compliance inspection form - Existing system (wq-wwists4-31b). This form can be found on the MPCA website at <https://www.pca.state.mn.us/water/inspections>.

The information and certified statement on this form is **required** when existing septic tank compliance status is determined by an individual other than the SSTS Inspector that submits an inspection report. This form represents a third party assessment of SSTS component compliance and is allowable under Minn. R. 7082.0700, subp. 4(B)(1). This form is valid for a period of three years beyond the signature date on this form unless a new evaluation is requested by the owner or owner's agent or is required according to local regulations. Additional Administrative Rule references for this activity can be found at Minn. R. 7082.0700, subp. 4(B),(C), and (D) and; Minn. R. 7083.0730(C).

Owner information

Owner/Representative Wagner, Evelyn
Property address: 49593 358th Place, Palisade, MN 56469
Local Regulatory Authority: Aitkin County Parcel ID: 35-1-089800

System status

System status on date (mm/dd/yyyy): 6/22/2023

Certificate of sewage tank compliance

Notice of sewage tank non-compliance

Compliance criteria:

The SSTS has a seepage pit, cesspool, drywell, leaching pit, or other pit - " Failure to Protect Groundwater. "	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
The SSTS has a sewage tank that leaks below the designed operating depth - " Failure to Protect Groundwater. "	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
The SSTS presents a threat to public safety by reason of structurally unsound (damaged, cracked, or weak) maintenance hole cover(s) or lids or any other unsafe condition - " Imminent Threat to Public Health or Safety. "	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No

Any "yes" answer above indicates sewage tank non-compliance.

Company information

Company name: Timber Lakes Septic Service Inc
Business license number: L455

Designated Certified Individual (DCI) information

Print name: Dan Swanson
Certification number: C6023

I personally conducted the work described above as a Designated Certified Individual of a Minnesota-licensed SSTS inspection, maintenance, installation, or service provider Business. I personally conducted the necessary procedures to assess the compliance status of each sewage tank in this SSTS.

By typing/signing my name below, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.

Designated Certified Individual's signature: Dan Swanson Date (mm/dd/yyyy): 6/22/2023
(This document has been electronically signed.)



AITKIN COUNTY ENVIRONMENTAL SERVICES PLANNING & ZONING

Aitkin County Government Center
307 2nd Street NW, Room 219
Aitkin, MN 56431

aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

“Aitkin County Shoreland Performance” Worksheet **Instructions:**

Are you applying for a variance from the Aitkin County Shoreland Management Ordinance? If so, you must complete the “Aitkin County Shoreland Performance” sheet. This is used as an attempt to evaluate your property and project as it relates to the required setbacks and the intent of the Ordinance to protect water quality, habitat and aesthetics. Your project will receive a ranking/score that relates to a “percentage” of compliance with the Department of Natural Resources guidelines and Aitkin County Ordinances.

STEP 1: Determine the level of non-conformance and score by completing 1-5 on the worksheet. The actual setback will be multiplied by the corresponding ‘score multiplier’ to determine your “Pre-mitigation Lot Score”.

STEP 2: Review the mitigation options and circle those that you would be willing to implement as a condition of your variance. See letters A-J.

*As a note, if you will be creating a buffer zone or other landscape project as part of your mitigation plan, please be prepared to present an approved plan to the Board of Adjustment. Although not familiar with specifics of the “Aitkin County Shoreland Performance” worksheet, the Aitkin County Soil & Water Conservation District [SWCD] (218-927-7284) and the University of Minnesota Extension Master Gardeners (218-927-2538) may be resources that would be able to provide you with planting suggestions and landscaping ideas.

STEP 3: A final score is determined by adding your “Pre-mitigation Lot Score” with your “Mitigation Total”. *Please note, the property should obtain a score of 100 or more to meet performance standard requirements.*

After a practical difficulty has been determined, the Board of Adjustment may use the “Aitkin County Shoreland Performance” sheet submitted with your application and/or use their own completed sheet to attempt to mitigate impacts to the water-body and/or adjoining properties.

If you have any questions, please contact Aitkin County Environmental Services – Planning & Zoning at (218) 927-7342.

AITKIN COUNTY SHORELAND PERFORMANCE

(Structure Placement Guidance)

A property should obtain a score of 100 or more to meet performance standard requirements. A conforming lot is assigned a score of 100. A lot is deemed conforming when the structure meets the required setbacks to the protected water as specified in the Aitkin County Shoreland Management Ordinance (SMO). A structure that fails to meet this definition is considered non-conforming.

To determine the level of non-conformance and score (See Reference Table):

- 1) Determine the DNR classification of the protected water on the lot (SMO-4.13 & 4.14)..... 1: _____
- 2) Determine the required "Structure Setback" to that classification of water (SMO 5.2)..... 2: _____
- 3) Determine the "Actual Setback" of the structure by measuring the closest part of the structure to the protected water, bluff, right-of-way, property line, etc. for which a variance is sought 3: _____
- 4) Enter the corresponding 'Score Multiplier' 4: _____
- 5) Pre-mitigation 'Lot Score': Determine the percentage of the encroachment as it relates to the standard setback by multiplying the Actual Setback with the 'Score Multiplier' (Note: round to the nearest whole number)..... 5: _____

Reference Table: Performance Multipliers for structures, septic, bluff, and sidelots in Aitkin County.

Protected Waters Type (DNR Classification; SMO 4.13-4.14)	Required Structure Setback	Score Multiplier Structures	Required Septic Setback	Score Multiplier Septic	Score Multiplier Bluff	Score Multiplier Sidelot
General Development Lake	75'	1.333	75'	1.333	3.33	10.000
Recreational Development Lake	100'	1.000	75'	1.333		
Natural Environment Lake	150'	0.667	150'	0.667		
Mississippi River	150'	0.667	125'	0.800		
Tributary Stream	100'	1.000	75'	1.333		
Forested Stream	150'	0.667	100'	1.000		
Remote Stream	200'	0.500	150'	0.667		

Mitigation: *To bring a non-conforming structure to a score of 100 the landowner conducts and maintains one or more of the below listed mitigating activities:*

- A) Zone A(1): Plant and/or maintain a 12.5' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c)..... **15 points**
- Zone A(2): Plant and/or maintain a 25' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c)..... **30 points**
- B) Zone B: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone A landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. **20 points**
- C) Zone C: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone B landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. **10 points**
- D) Construction of rain garden(s) to Wisconsin DNR Manual specifications **20 points**
- E) Removal of all other structures that do not meet the standard building setbacks, including water oriented structures **20 points**
- F) Removal of impervious surfaces to at least half ordinance limits (SMO 5.52.A) **10 points**
- G) Removal of fill all placed in historic wetlands and guarantee of no future wetland fill recorded on deed **10 points**
- H) Re-vegetate bluff or steep slopes* and provide screening of structures from the lake..... **10 points**
- I) Diversion of all water runoff from impervious surfaces away from the lake into retention ponds, subsurface drains, wetlands, etc. with no outlet to the lake or tributary **10 points**
- J) Existing conditions may apply on the property that warrant credit *To be determined by P&Z*

Final Score = Pre-mitigation Lot Score (Line 5) _____ + Mitigation Totals (Lines A-I) _____ = _____

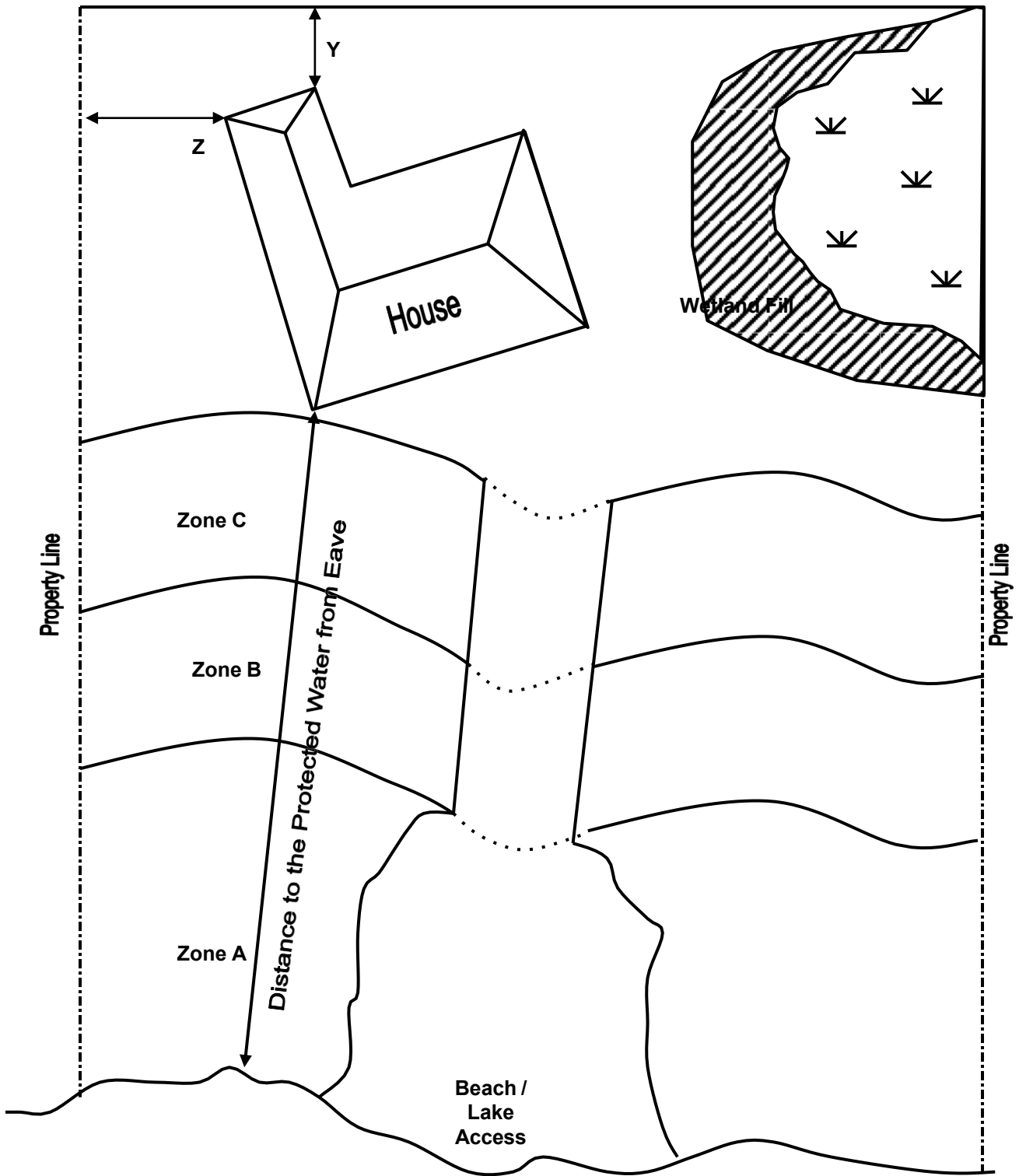
**Note: Plant materials for vegetative buffers shall be native to northern Minnesota. For every 5,000 square feet of buffer area, there shall be a minimum of four types of trees, six types of shrubs, seven forbs, and three grasses planted to achieve a one plant per square foot minimum coverage. Survival of all plants must be guaranteed for a minimum of 5 years*

Board of Adjustment Chairperson

Applicant

AITKIN COUNTY SHORELAND PERFORMANCE
(Example)

Road right-of-way (ROW)



Recreational Development Lake (RD)

EROSION CONTROL PLAN CHECKLIST

**Check the box if completed (leave empty if not applicable).
All items checked must be included on the site diagram.**

Site Characteristics

- North arrow, scale, and site boundary. Indicate and name adjacent streets or roadways.
- Location of existing drainageways, streams, rivers, lakes, wetlands or wells.
- Location of storm sewer inlets.
- Location of existing and proposed buildings and paved areas.
- The disturbed area on the lot.
- Approximate gradient and direction of slopes before grading operations.
- Approximate gradient and direction of slopes after grading operations.
- Overland runoff (sheet flow) coming onto the site from adjacent areas.

Erosion Control Practices

- Location of temporary soil storage piles.
Note: Soil storage piles should be placed behind a sediment fence, a 10 foot wide vegetative strip, or should be covered with a tarp or more than 25 feet from any downslope road or drainageway.
- Location of access drive(s) (driveways, turnarounds, approaches, etc.)
- Location of sediment controls (filter fabric fence, straw bale fence or 10-foot wide vegetative strip) that will prevent eroded soil from leaving the site.
- Location of sediment barriers around on-site storm sewer inlets.
- Location of diversions.
Note: Although not specifically required by code, it is recommended that concentrated flow (drainageways) be diverted (re-directed) around disturbed areas. Overland runoff (sheet flow) from adjacent areas greater than 10,000 sq. ft. should also be diverted around disturbed areas.
- Location of practices that will be applied to control erosion on steep slopes (greater than 12% grade).
Note: Such practices include maintaining existing vegetation, placement of additional sediment fences, diversions, and re-vegetation by sodding or seeding with use of erosion control mats.
- Location of practices that will control erosion on areas of concentrated runoff flow.
Note: Unstabilized drainageways, ditches, diversions, and inlets should be protected from erosion through use of such practices as in-channel fabric or straw bale barriers, erosion control mats, staked sod, and rock rip-rap. When used, a given in-channel barrier should not receive drainage from more than two acres of unpaved area, or one acre of paved area. In-channel practices should not be installed in perennial streams (streams with year round flow).
- Location of other planned practices not already noted.

**Check the box if completed (leave empty if not applicable).
All items checked must be included on the site diagram.**

Management Strategies

- Temporary stabilization of disturbed areas.
Note: It is recommended that disturbed areas and soil piles left inactive for extended periods of time be stabilized by seeding (between April 1 and September 15), or by other cover, such as tarping or mulching.
- Permanent stabilization of site by re-vegetation or other means as soon as possible (lawn establishment).
 - Indicate re-vegetation method: (Circle one of the following) Seed Sod
Other _____
 - Expected date of permanent re-vegetation: _____
 - Re-vegetation responsibility of: (Circle one of the following)
Builder Owner/Buyer
 - Is temporary seeding or mulching planned if site is not seeded by
Sept. 15 or sodded by Nov. 15? (Circle one of the following) Yes No
- Use of downspout and/or sump pump outlet extensions.
Note: It is recommended that flow from downspouts and sump pump outlets be routed through plastic drainage pipe to stable areas such as established sod or pavement.
- Trapping sediment during de-watering operations.
Note: Sediment-laden discharge water from pumping operations should be ponded behind a sediment barrier until most of the sediment settles out.
- Proper disposal of building material waste so that pollutants and debris are not carried off-site by wind or water.
- Maintenance of erosion control practices.
 - Sediment will be removed from behind sediment fences and barriers before it reaches a depth that is equal to half the height of the barrier.
 - Breaks and gaps in sediment fences and barriers will be repaired immediately. Decomposing straw bales will be replaced (typical bale life is three months).
 - All sediment that moves off-site due to construction activity will be cleaned up before the end of the same workday.
 - All sediment that moves off-site due to storm events will be cleaned up before the end of the next workday.
 - Access drives will be maintained throughout construction.
 - All installed erosion control practices will be maintained until the disturbed areas they protect are stabilized.

PART VII: STANDARD EROSION CONTROL PLAN

According to Aitkin County's Shoreland Management Ordinance, soil erosion control information needs to be included on the site plan which is submitted and approved prior to the issuance of zoning permits. The Standard Erosion Control Plan is provided to assist in meeting this requirement.

Instructions:

1. Complete this plan by filling in requested information, completing the site diagram and marking appropriate boxes on the inside of this form.
2. In completing the site diagram, give consideration to potential erosion that may occur before, during and after grading. Water runoff patterns can change significantly as a site is reshaped.
3. A cross section sheet is required for walkout basements and excavations into hillsides for determining volume of fill to be excavated.

Project Location _____

Builder _____ Owner _____

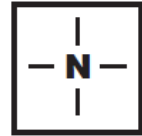
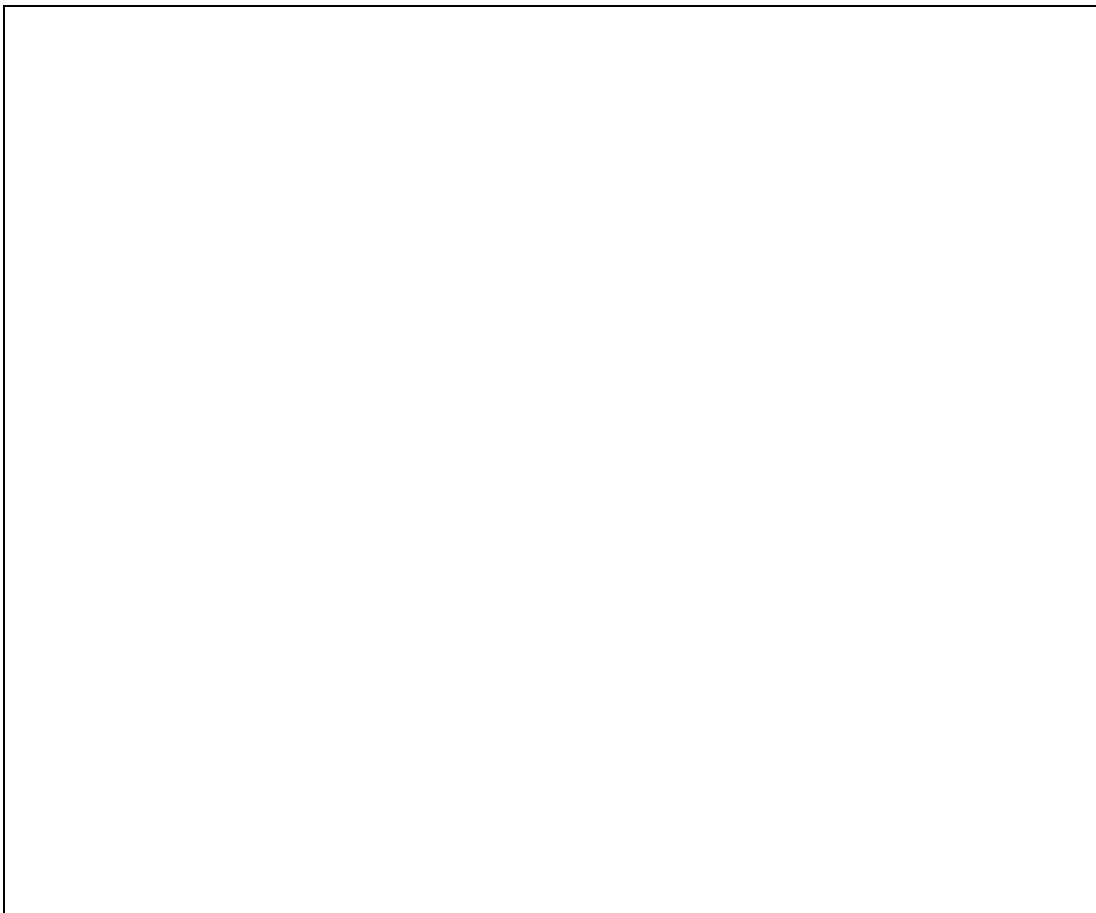
Worksheet Completed By _____ Date _____

Amount of earthen material to be excavated and/or used for fill _____ cubic yards.

SITE DIAGRAM

Scale 1 inch = _____ feet

Please indicate north by completing the arrow.



EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- EXISTING DRAINAGE
- TD TEMPORARY DIVERSION
- FINISHED DRAINAGE
- - - LIMITS OF GRADING
- SILT FENCE
- STRAW BALES
- ☒ GRAVEL
- ① VEGETATION SPECIFICATION
- ☼ TREE PRESERVATION
- ⊞ STOCKPILED SOIL

(Top 3 inches reserved for recording data)

**WARRANTY DEED
Individual(s) to Individual(s)**

**Minnesota Uniform Conveyancing Blanks
Form 10.1.1 (2016)**

e-CRV No.: _____

DEED TAX DUE: \$1,617.00

DATE: 10.4.24

FOR VALUABLE CONSIDERATION, Evelyn K. Wagner, a single person ("**Grantor**"), hereby conveys and warrants to Nalee Vue and ("**Grantee**"), as

(Check only one box)

- Tenants in Common
 Joint Tenants

(if more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)

real property in Aitkin County, Minnesota, legally described as follows:

Lot 5, Block: 1, Sunset Knoll, Aitkin County, MN

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____).
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor:

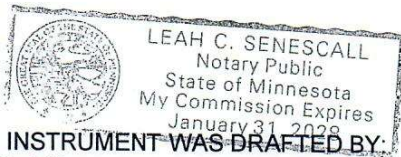
Evelyn K. Wagner
Evelyn K. Wagner

State of Minnesota

County of Hennepin

This instrument was acknowledged before me on 9.23.2024, by Evelyn K. Wagner, a single person.

(Seal, if any)



THIS INSTRUMENT WAS DRAFTED BY:
Results Title
1609 Hennepin Avenue
Minneapolis, MN 55403

File No.: 24-05289

[Signature]
(signature of notarial officer)

Title (and Rank): _____

My commission expires: _____
(month/day/year)

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
Nalee Vue
49593 358th Place
Palisade, MN 56469

LEGAL DESCRIPTION

Lot 5, Block: 1, Sunset Knoll, Aitkin County, MN







Property Location

Property:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	07-0-012002	33595 458th Pl AITKIN, MN 56431	FARM ISLAND TWP	FRANA, MARCUS E & AMY E	FRANA, MARCUS E & AMY E	PT OF LOT 6 AS DESCR IN DOCS 484203 & 484345		S:6 T:46 R:27	RD	CEDAR LAKE (AITKIN/FI TWPS)
Driving directions to the proposed project from Aitkin:	West on highway 210 Left on Cedar Lake Drive Left on 458th Place Arrive at 33595 458th Place									
Is the above parcel located in the Shoreland Zoning District?	<u>Yes</u>									

Detailed Narrative

Enter a Detailed Narrative (If you have a prepared narrative please state "See attached" and attach the document below):

Project Description and Variance Request

This project involves replacing an existing deck that had deteriorated to the point that it was structurally unsafe. The deck was present when the property was purchased and was located within the bluff impact zone. Because the existing structure occupied this location prior to the current project, replacement of the deck requires a variance under the current Aitkin County Shoreland Ordinance.

The proposed project will reconstruct the deck in generally the same location as the original structure in order to maintain safe access to the cabin entry. Small portions of the new deck will extend slightly beyond the footprint of the previous deck to improve structural stability and usability. The portions that extend beyond the original deck outline are limited in size and are approximately 40 inches in width. In addition, a small roof section above the entry door is proposed to provide weather protection, reduce water and snow accumulation at the doorway and redirect water away from the structures footings.

The project represents a modest improvement to an existing structure and is intended primarily to replace a failing deck with a safe and code-compliant structure while maintaining the existing use of the property. The project will not require any vegetation removal within the bluff impact area, and the existing vegetation and bluff conditions will remain unchanged.

Minimal Variance Request

The variance requested represents the minimum variance necessary to allow reasonable use of the property while addressing the safety concerns associated with the existing deteriorated deck. The proposed deck is located largely within the footprint of the previous structure. The only areas extending beyond the original deck are small sections that extend approximately 40 inches beyond the original outline in order to allow safe construction and functional access to the cabin entry. No larger deck or expanded development is proposed beyond what is necessary to replace the existing structure and provide safe entry to the cabin.

Variance Criteria

The request is consistent with the intent of the Shoreland Ordinance and the Aitkin County Comprehensive Plan because it replaces an unsafe existing structure with a safe, properly constructed deck while maintaining a small footprint. The proposal does not intensify the use of the property or significantly alter the bluff area. Because the project does not involve additional disturbance to the bluff or removal of vegetation, it remains consistent with the goals of protecting bluff stability and shoreline resources.

The variance allows the property owner to make reasonable use of the property by replacing an unsafe deck that provides access to the main entrance of the cabin. Decks are common and customary improvements for lake and cabin properties, and the proposed deck serves the practical function of providing safe access and outdoor space associated with normal residential use.

Practical difficulty is created by the location of the existing cabin relative to the bluff and the location of the original deck. Because the

cabin is situated near the bluff, there is limited space available to construct a deck that fully complies with the current bluff setback requirements. These physical site constraints make it difficult to replace the deck in a compliant location without significant alteration to the cabin itself.

The need for the variance was not created by the current property owner. The cabin and the original deck were constructed prior to the current ownership and were already located within the bluff impact area. The variance request arises from the need to replace a deteriorated structure that existed when the property was purchased.

The proposed deck and small roof element are modest in scale and consistent with other residential structures in the area. The project replaces an existing deck rather than introducing a new or expanded type of development. As a result, the essential character of the surrounding lakeshore residential area will be maintained.

The request is based on site constraints, safety considerations, and the need to replace a failing structure that provides access to the cabin. The variance is not requested solely for economic reasons but to address the practical limitations created by the location of the cabin and the existing deck relative to the bluff.

Provide the Ordinance(s) and the Section(s) of the Ordinance(s) from which you are requesting a variance:

Aitkin County Shoreland Management Ordinance – Section 6.21(C): Bluff Impact Zones

Section 6.21(C) states:
 “Structures and accessory facilities, except stairways and landings, must not be placed within bluff impact zones.”

Supplemental Data

Attach completed form here:

File 1:  [Supplemental_Data_Form.pdf](#)

A Scaled Drawing or Survey

<p>Scaled Drawing or Survey Checklist:</p>	<p><u>Location and dimensions for all lot lines.</u> <u>Location and dimensions of all existing and proposed structures/additions.</u> <u>Location and dimensions of all existing and proposed septic system components (septic tank, septic drainfield).</u> <u>If topography is unusual, show elevations and location of bluffs, steep slopes, wetlands, etc.</u> <u>Indicate all setback distances for items listed above: ordinary high water level of lakes or rivers, lot lines, road right-of-ways, etc.</u></p>
<p>Attach a Scaled Drawing or Survey:</p>	<p>File 1: Frana_33595_458th_Place_Deck_Layout.pdf File 2: Frana_Certificate_of_Survey_9-13-2024_1.pdf</p>

Side Profile Sketch of the Structure

<p>Attach a side profile sketch of your proposed structure or addition here (if applicable):</p>	<p>File 1: Frana_33595_458th_Place_Deck.pdf File 2: Frana_33595_458th_Place_Roof.pdf</p>
--	--

Certificate of Septic Compliance

<p>Attach a copy of one of the following, if applicable:</p> <ul style="list-style-type: none">- A current compliance inspection on an existing septic system.- A design for a new/replacement septic system.	<p>File 1: No_Spetic.docx</p>
--	---

Shoreland Performance Worksheet

Complete the Shoreland Performance Worksheet and attach here:	File 1: Shoreline_Performance.pdf
---	---

Standard Erosion Control Plan

Attach the completed Standard Erosion Control Plan here:	File 1: Erosion_Control.pdf
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Property Deed

Attach the property deed:	File 1: 484345-p0001_-_p0003.pdf
---------------------------	--

Other

Other Information (if necessary):	<p>Our family has come to deeply enjoy the time we spend together on Cedar Lake. When we first acquired the property, the existing structures were in a dilapidated condition and in significant disrepair. Since then, we have been steadily working to restore and improve the property so that it can once again be a place that is cared for and enjoyed.</p> <p>Much of our time at the lake is centered around being together as a family—spending time outdoors, enjoying the water, and creating lasting memories with our children. These experiences are incredibly meaningful to us, and the property has quickly become an important place for our family.</p> <p>Our long-term goal is to preserve and care for this property for many years. We hope to keep it within our family and eventually pass it down to our children. Looking further ahead, we envision building a home on this lot where we can retire and continue enjoying Cedar Lake as a gathering place for our family for generations to come.</p>
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Terms

General Terms

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.

Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.

I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #70095 (03/12/2026) Expected Payment Method: Pay Online - Card or ECheck

Charge	Cost	Quantity	Total
Recording Fee added 03/12/2026 2:52 PM (Nonrefundable)	\$46.00	x 1	\$46.00
Variance added 03/12/2026 2:52 PM (Nonrefundable)	\$650.00	x 1	\$650.00
Grand Total			
			Total
			\$696.00
			Payment 03/12/2026
			\$696.00
			Due
			\$0.00

Results ([Go to top](#))
 Signature accepted
 Failed to send [Variance Ready for Action](#) notification to:

Approvals

Approval	Signature
Applicant	online submittal - 04/03/2026 1:47 PM - witnessed by Kim Burton e748cfd2101be8ffae405b39b090fac8 37d1db8d439d3b32c112827f5f54e56f
#1 Administrative Review	Kim Burton - 04/08/2026 9:05 AM 8c15231d76656791e8f34b1969f7b82a 989475099f215997b672bab0a6e9d1d8
#2 Board of Adjustment Approval	

Public Notes

Text:	Shoreland Performance worksheet needs to be signed Abandonment form received 4/3/26 Originally permitted as a 16 X 16 - Is now a 16 X 22 cabin (ATF) Will need proof of composting toilet prior to permit issuance.
File(s):	File 1: <input type="text" value="2357_001.pdf"/> 2357_001.pdf

Admin Checklist

This review has been started by:	<input type="text" value="Kim Burton"/>
----------------------------------	---

Zoning District of project location:	Shoreland ▼
Project located in the floodplain?	No ▼
Is the parcel a Lot of Record before 1-21-92 or have alternate sites been identified?	No ▼
Is this an after-the-fact application?	Yes ▼

Numbers

	Current Number	Next from Sequence
UID #	221197	<i>not applicable</i>
App. #	<input type="text" value="2026-000081"/>	«« 2026-000128
Permit #	<input type="text"/>	«« 2026-0092

Print View

PART I: SUPPLEMENTAL DATA TO VARIANCE APPLICATION

Aitkin County Environmental Services
307 Second St. NW, Room 219, Aitkin, MN 56431
Phone: 218.927.7342 Fax: 218.927.4372
www.co.aitkin.mn.us

Note: Place an "X" by each item below that applies to your variance request. Then, fill out **only** the applicable following section(s) that apply, as directed. **If a section does not apply to your request, leave it blank.**

What is the reason(s) for applying for the variance? Place an "X" by each applicable item.

Setback issues for a proposed new structure: **Complete Section 1**

Setback issues for an alteration to an existing nonconforming structure: **Complete Section 2**

Setback issues for a septic system: **Complete Section 3**

Land alteration: **Complete Section 4**

Creating a lot not in conformance with the minimum Ordinance standards: **Complete Section 5**

Other: attach separate sheet explaining variance request

Section 1 – New Structure(s)

Check all that apply and fill in requested information:

Basement

One Story Level

Crawlspace

Story-and-a-Half Level

Walk-out Basement

2nd Story Level

Proposed # of Bedrooms

Proposed Structure Height ft.

Existing Total Building Coverage %

Proposed Total Building Coverage %

Existing Total Impervious Surface Coverage % Proposed Total Impervious Surface Coverage %

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Structure Type (indicate with or without living quarters) _____

___ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
___ Property Line	Proposed Setback _____ ft.
___ Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
___ Bluff	Proposed Setback _____ ft.
___ Other: _____	Proposed Setback _____ ft.

Section 2 – Alteration(s) to Existing Nonconforming Structure(s)

Check all that apply and fill in requested information:

Existing Structure

___ Basement
 ___ Crawlspace
 ___ Walk-out Basement
 One Story Level (Deck)
 ___ Story-and-a-Half Level
 ___ 2nd Story Level

Proposed Addition(s)

___ Basement
 ___ Crawlspace
 ___ Walk-out Basement
 One Story Level (Deck)
 ___ Story-and-a-Half Level
 ___ 2nd Story Level

Existing Structure Height 4 ft.

Proposed Addition(s) Height 4 ft.

Existing # of Bedrooms N/A

Final # of bedrooms after remodel N/A

Existing Building Coverage 1.4 %

Proposed Building Coverage 1.4 %

Existing Total Impervious Surface Coverage 1.4 %

Proposed Total Impervious Surface Coverage 1.4 %

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

Deck will be approx. 300 sq Ft.
 Small roof section will be 40 sq. ft (10' x 4')

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Alteration Type _____

_____ Ordinary High Water Level (OHWL)	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Property Line	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Bluff	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Other: _____	Existing Setback _____ ft.	Proposed Setback _____ ft.

Section 3 – Septic System

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance.

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
_____ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 4 – Land Alteration

What is your land alteration? Check all categories that apply and indicate the total amount of excavation or placement of fill.

_____ More than 10 cubic yards on steep slopes and shore and bluff impact zones.	Total Cubic Yds. _____
_____ Other: _____	Total Cubic Yds. _____

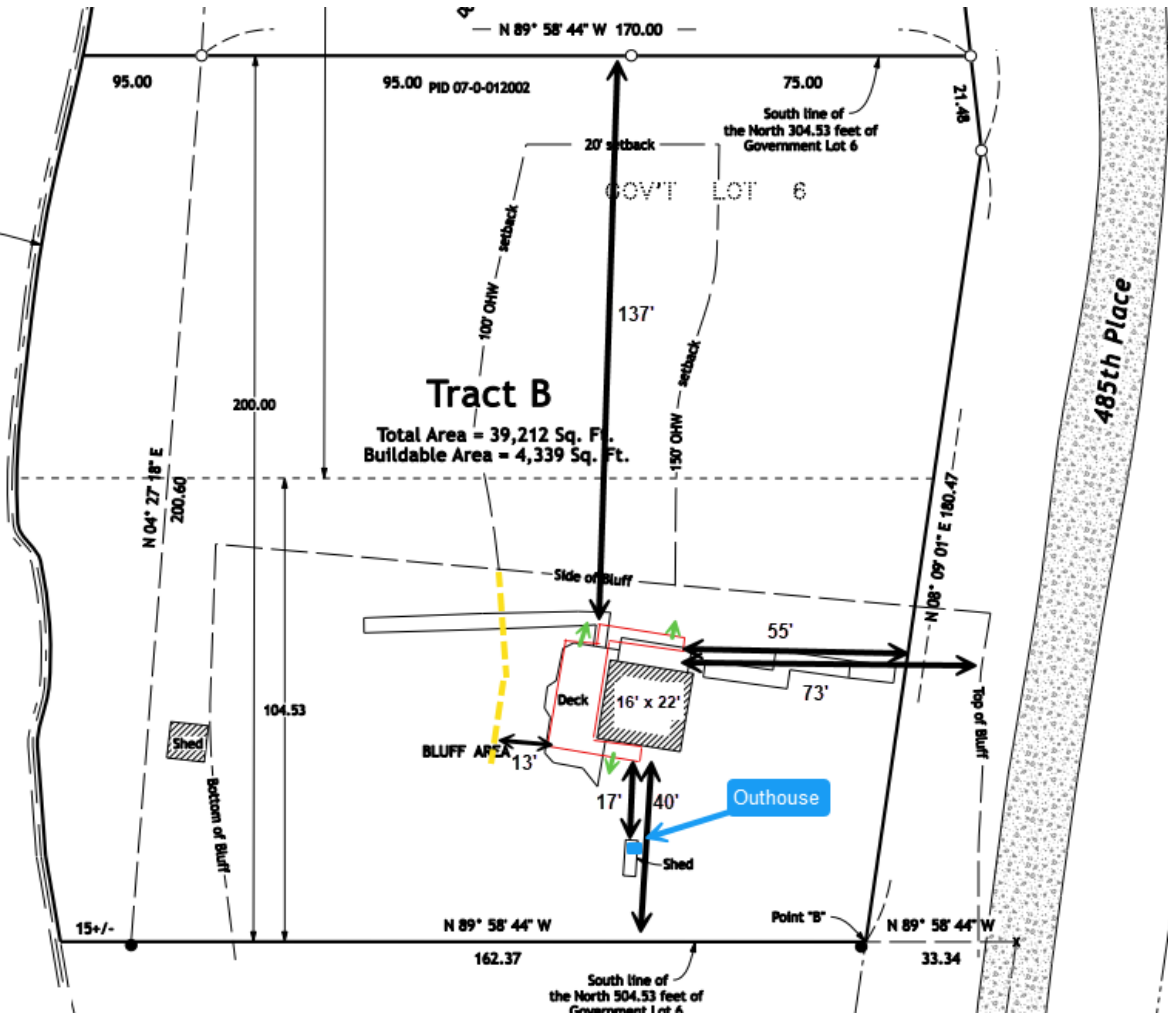
Section 5 – Creating Nonconforming Lot(s)

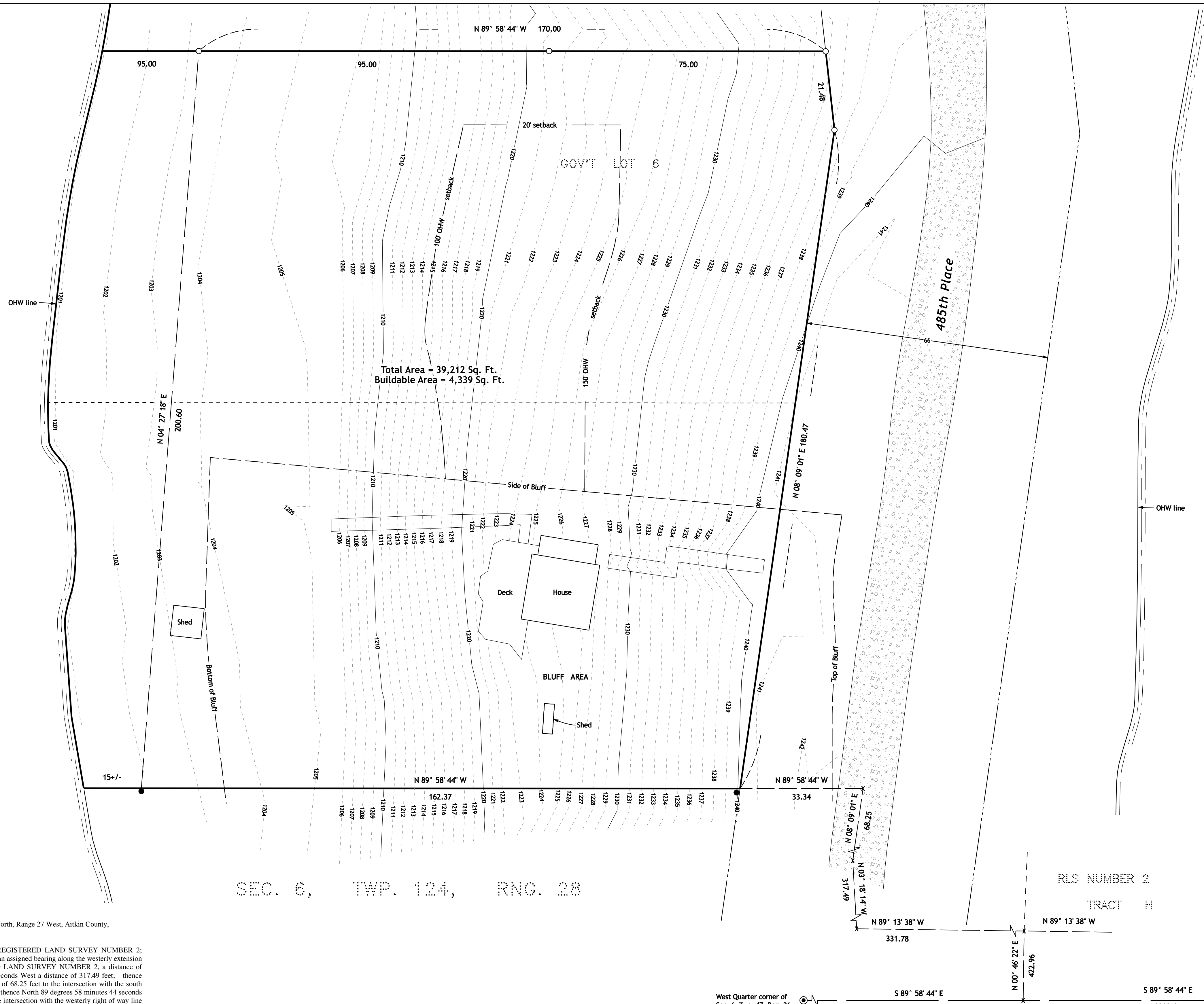
Check the item(s) from which you are requesting a variance and fill in the proposed dimensions.

_____ Property Width	Proposed Property Width _____
_____ Property Area	Proposed Property Area _____
_____ (2) Standard Septic Sites	
_____ Legal Access	

deadline for April
April 10th
Meeting May 6

Ordinary High water line
1201.0 (NAVD88)





MAPPING LEGEND

LIFT STATION	
GRAVEL	

Christmas Lake
 Natural Environment classification
 Elevation 1218.6 (NAVD 88)

Cedar Lake
 Recreational Development classification
 Elevation 1201.0 (NAVD 88)

PROPERTY BOUNDARY MONUMENT LEGEND

	SET IRON PIPE WITH CAP STAMPED "KRAMER 23668"
	FOUND IRON MONUMENT
	GOVERNMENT SECTION CORNER MONUMENT
	COMPUTED POSITION

Surveyors Notes

The property address for the subject property is:
 33595 & 33639 458th Place
 Aitkin, MN 56431

The Parcel Number for the subject property is 07-0-012003 & 07-0-012002.

The current zoning classification for the subject property is Shoreland.

This survey was completed without the benefit of a current title commitment or title opinion. Kramer Leas DeLeo, P.C. makes no guarantee that all easements, encumbrances, or appurtenant rights related to the premises property are depicted on this survey.

All structure setbacks should be verified with Aitkin County prior to any construction.

Proposed Legal Description Tract B

That part of Government Lot 6, Section 6, Township 46 North, Range 27 West, Aitkin County, Minnesota, described as follows:

Commencing at the Southwest corner of TRACT H, REGISTERED LAND SURVEY NUMBER 2; thence North 89 degrees 13 minutes 38 seconds West on an assigned bearing along the westerly extension of the southerly line of said TRACT H, REGISTERED LAND SURVEY NUMBER 2, a distance of 331.78 feet; thence North 03 degrees 18 minutes 14 seconds West a distance of 317.49 feet; thence North 08 degrees 09 minutes 01 seconds East a distance of 68.25 feet to the intersection with the south line of the North 504.53 feet of said Government Lot 6; thence North 89 degrees 58 minutes 44 seconds West, along said south line, a distance of 33.34 feet to the intersection with the westerly right of way line of 485th Place, the point of beginning; thence North 08 degrees 09 minutes 01 seconds East, along said westerly right of way line, a distance of 180.47; thence North 06 degrees 20 minutes 44 seconds West, along said westerly right of way line, a distance of 21.48 feet to the intersection with the south line of the North 304.53 feet of said Government Lot 6; thence North 89 degrees 58 minutes 44 seconds West, along said south line, a distance of 265 feet, more or less, to the easterly shoreline of Cedar Lake; thence southerly along said shoreline to the intersection with the south line of the North 504.53 feet of said Government Lot 6; thence South 89 degrees 58 minutes 44 seconds East, along said south line, a distance of 177 feet, more or less, to the point of beginning.

Said tract contains 0.9 acres, more or less, and is subject to any restrictions, reservations, and easements of record, if any.

SEC. 6, TWP. 124, RNG. 28

RLS NUMBER 2
 TRACT H

West Quarter corner of Sec. 6, Twp. 47, Rng. 26 5 89° 58' 44" E 2007.16 East Quarter corner of Sec. 6, Twp. 47, Rng. 26

331.78 422.96 3232.91

NO.	REVISIONS SINCE INITIAL DATE OF	DATE

KLD
 KRAMER LEAS DELEO
 SURVEYING • ENGINEERING • PLANNING
 BRAINERD ST. CLOUD

1120 Industrial Park Road
 Brainerd, MN 56401
 218-826-0333

13 North 11th Avenue
 St. Cloud, MN 56303
 320-259-1290

I HEREBY CERTIFY THAT THIS PLAN, SURVEY, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

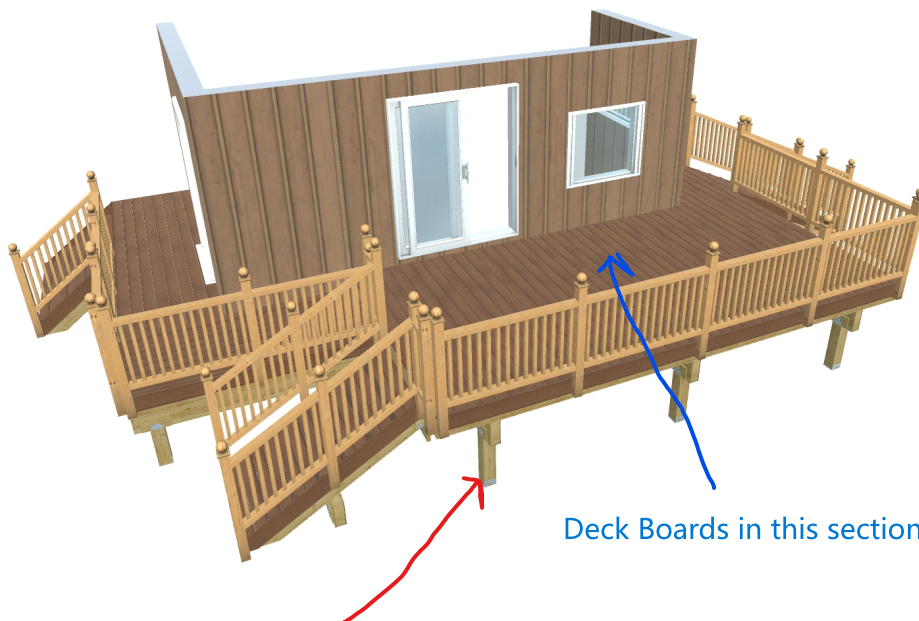
Signature: *James Kramer* 09/13/2024
 James Kramer, MN License No. 23668 Date

PROJECT NO. FRANA2401

CERTIFICATE OF SURVEY
 Topographic and Property Boundary Survey

Amy Frana
 Section 6, Township 46 North, Range 27 West
 Aitkin County, Minnesota

Shared Dealer Locator
Report



Footings to be 7' depth Helical Piers

Deck Boards in this section will run L to R

Cedar with 2 board directions

Deck Planner Software™ Report

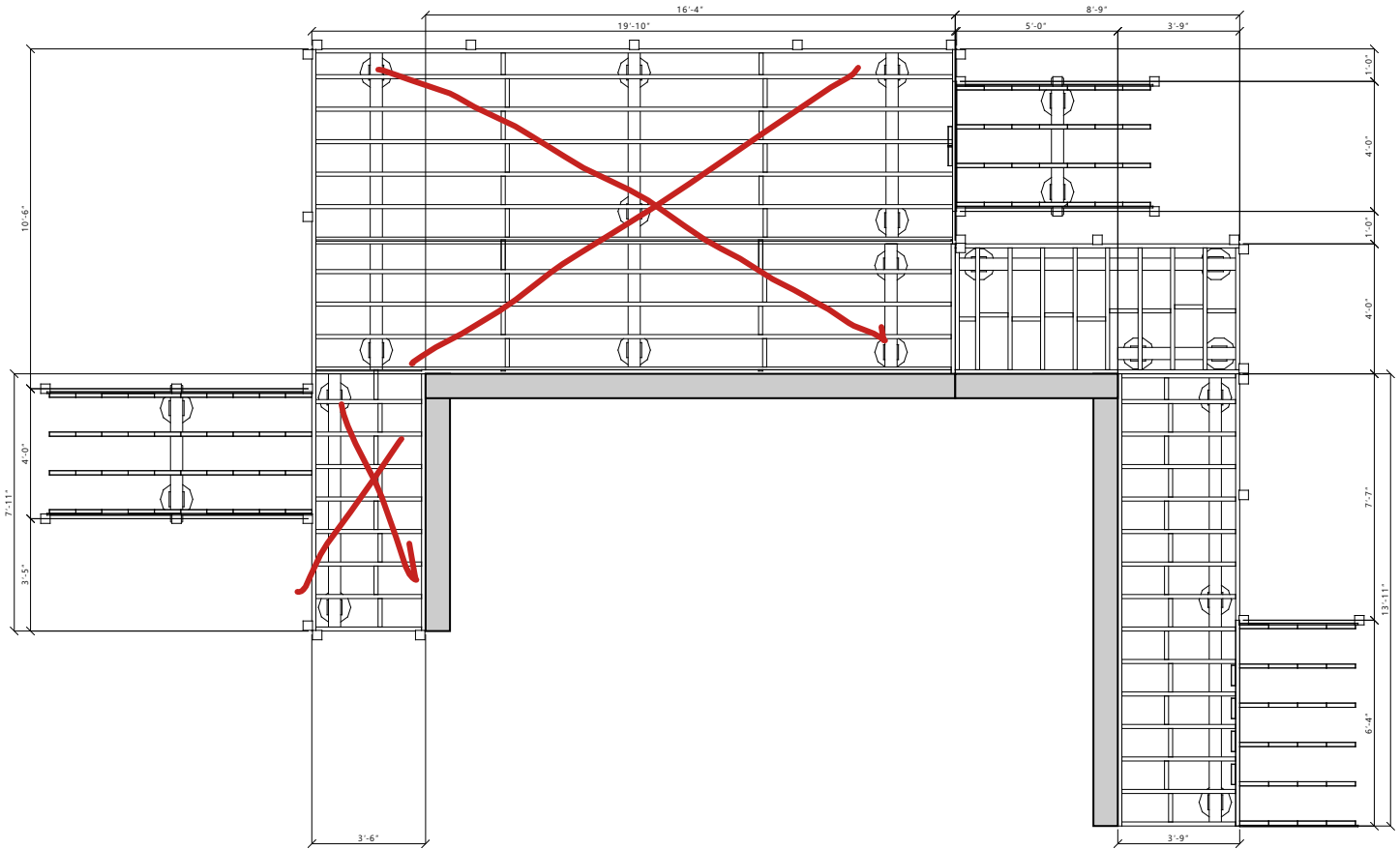
All lengths, areas, weights, masses and structural forces are expressed in U.S. Customary units unless otherwise specified.

This report was created 3/6/2026 3:16 PM by Deck Planner Software™

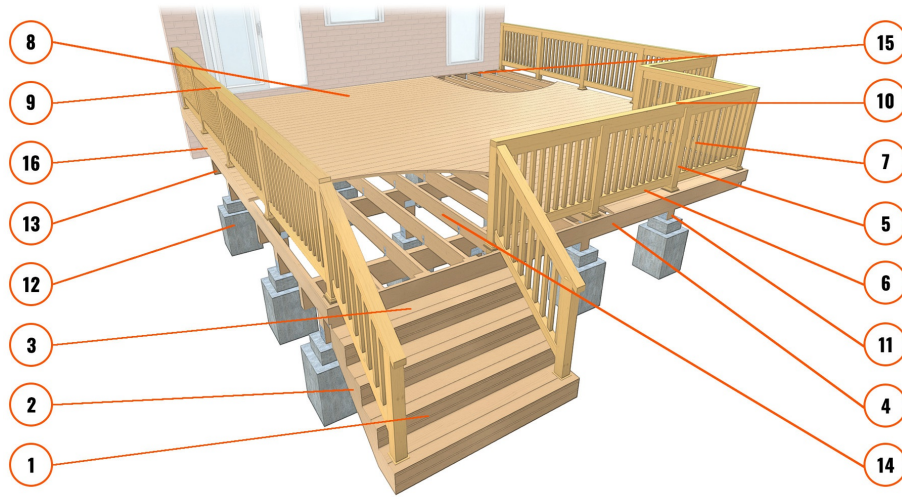
Your Planned Deck Design

Plan view construction

Deck boards will run Left to Right in this section



Glossary Of Decking Terms



1. Risers: The vertical boards attached to the stair stringers. Many localities require risers to prevent possible trip hazards.

2. Stringers: The structural support for stairs. They have limits on how much weight they can carry, so size and spacing are important considerations. Composite manufacturers provide recommended stringer spacing to support the tread material.

3. Treads: The horizontal stair surfaces on which deck users walk.

4. Rim Joist: Also known as edge bands, the rim joist wraps the deck and keeps the joists standing on edge, while also providing a solid surface for attaching railing posts. Proper attachment is critical to installing a safe railing.

5. Rail Post: Vertical lumber member that supports the handrail and resists the outward force of people leaning on the railings.

6. Bottom Rails: Lumber members that connect to the rail posts and provide a solid surface for securing the infills.

7. Infills: Also known as balusters or pickets, the infills are connected to the top and bottom rails and provide a barrier against falls.

8. Decking: When properly attached to each joist and rim joist, the decking surface (whether wood or composite material) helps unify the entire structure.

9. Rail Cap: Much like the decking, the rail cap unifies the railing system and provides a decorative feature.

10. Top Rails: These members have the same stabilizing function as the bottom rails.

11. Post: Vertical structural member that supports the beams and attaches the deck to the footings using a post base.

12. Footing: Concrete element that serves as the foundation of the deck.

13. Beams: Structural members that support the decking floor joists. Beams are made of doubling 2x material and can be installed as a laminate, sandwiched, or notched into the post.

It is important to have a post of sufficient size and strength to support the beam. The beam should not be any wider than the thickness of the post, and should be secured with the correct post cap.

14. Joists: Wood members installed across the beams and spaced to accommodate the decking material. The joist spacing may depend on the angle at which the deck boards are applied.

15. Ledger: The ledger is a crucial connection because it attaches the deck to the house. The material used to construct the house may determine the type of connection. Consult local building officials on the recommended connection.

16. Fascia: Vertical boards that face outwards from the edges of the deck, attached to the rim joists. Fascia boards typically consist of a lumber species that matches the appearance of the decking material.

A Complete Connector System for Building Safer, Code-Compliant Decks

LSCZ LSCSS
Adjustable Stringer Connector
Ties stair stringer to the carrying header or rim joist

DTT2Z DTT2SS
Deck Tension Tie
Ties deck to house

DTT1Z
Deck Tension Tie
Ties deck framing to top plate, studs or headers

LUCZ LUCSS
Joist Hanger
Ties deck joist to ledger

Strong-Drive® SDWS Timber Screw
Ledger attachment design per code; visit our website for spacing instructions

H2.5AZ H2.5ASS
Hurricane Tie
Ties joist to beam

DJT14Z DJT14SS
Deck Joist Tie
Ties 2x girder to post

TA9Z/TA10Z TA9SS/TA10SS
Staircase Angle
Ties stair tread to stringer; TA9ZKT/TA10ZKT provided with Strong-Drive SDS screws

A35Z A35SS
Framing Angle
Ties rim joist to deck joist

DTT2Z DTT2SS
Deck Tension Tie
Ties gaurdrail post to deck joist

ABU44Z
Post Base
Ties 4x4 post to concrete

ABA44Z
Standoff Post Base
Ties 4x4 post to concrete

H1Z
Hurricane Tie
Ties joist to girder at mid-deck; ties joist to beam

BCS2-2/4Z BCS2-2/4SS
Post Cap
Ties 4x post to double 2x beam girder

Installation Considerations

Building Code and Zoning Requirements

Check deed restrictions, building codes and zoning laws to make sure your deck complies. The local building jurisdiction will require a minimum setback from property lines. Check with local utility companies to make sure deck construction will not disturb underground piping or wiring.

A resource for general residential deck codes and building practices is the Prescriptive Residential Deck Construction Guide, by the American Wood Council (free download from www.awc.org).

The local building jurisdiction should be consulted to verify any building code requirements specific to the area.

Deck Function

While planning your deck, consider how it will be used. Sun/shade areas and possible views are common considerations.

Lumber

Pressure- or preservative-treated lumber, or lumber that is naturally decay resistant, should be used for durability. Cut edges should be field-treated with preservative.

Fasteners and Connectors

To resist corrosion, fasteners and connectors in contact with treated lumber should be ZMAX®, hot-dip galvanized (HDG) or made with stainless steel.

Consult with the building code, the preservative treatment manufacturer and strongtie.com to get recommendations for your conditions. Fasteners and connectors should be made of the same material (i.e. both of them galvanized, both of them HDG or both in stainless steel).

Ledgers

Proper corrosion-resistant flashing should be installed between a deck ledger and the house. The ledger should be installed directly to the framing, with any siding removed.

Deck Area and Footing Layout

Batter boards (temporary wood supports, such as 2x4s), mason's string and a plumb bob can be used to lay out the deck area and footings. For a rectangular shape, the corners will be square when the lengths of the two diagonals are equal.

Footings

Holes for footings will need to be dug to a depth below the frost line.

Post Bracing

Diagonal bracing between posts and joists/beams should be installed according to the building code.

Posts and Beams

Allow an additional margin in length to the posts. Determine the desired deck floor height on the post and then cut to the appropriate length.

Attaching Joists

Attach joists to the ledger board with joist hangers.

Laying Decking

Drill pilot holes into the ends of boards to prevent splitting. Allow space between boards.

Guardrails

Guardrails must be adequately attached to the framing members of the deck. The building code has limits on the size of openings that are permitted in the guard system.

Stairs and Handrails

Stairs should be at least 91cm wide. The building code has limits on the size of openings in a flight of stairs and specific directions for providing handrails.

Tools Required

The checklist provided should be used as a quick guide only, and we highly recommend consulting some additional resources listed here:

www.strongtie.com/solutions/deckcenter

Concrete Work

- Pick
- Post hole digger
- Shovel
- Wheelbarrow
- Hoe and hose (to mix concrete)
- Tamper

Concrete Layout

- Stakes or batter boards
- String
- Transit

Safety

- Eye Protection
- Hearing protection
- Dust mask
- Gloves
- Kneepads

Wood Work

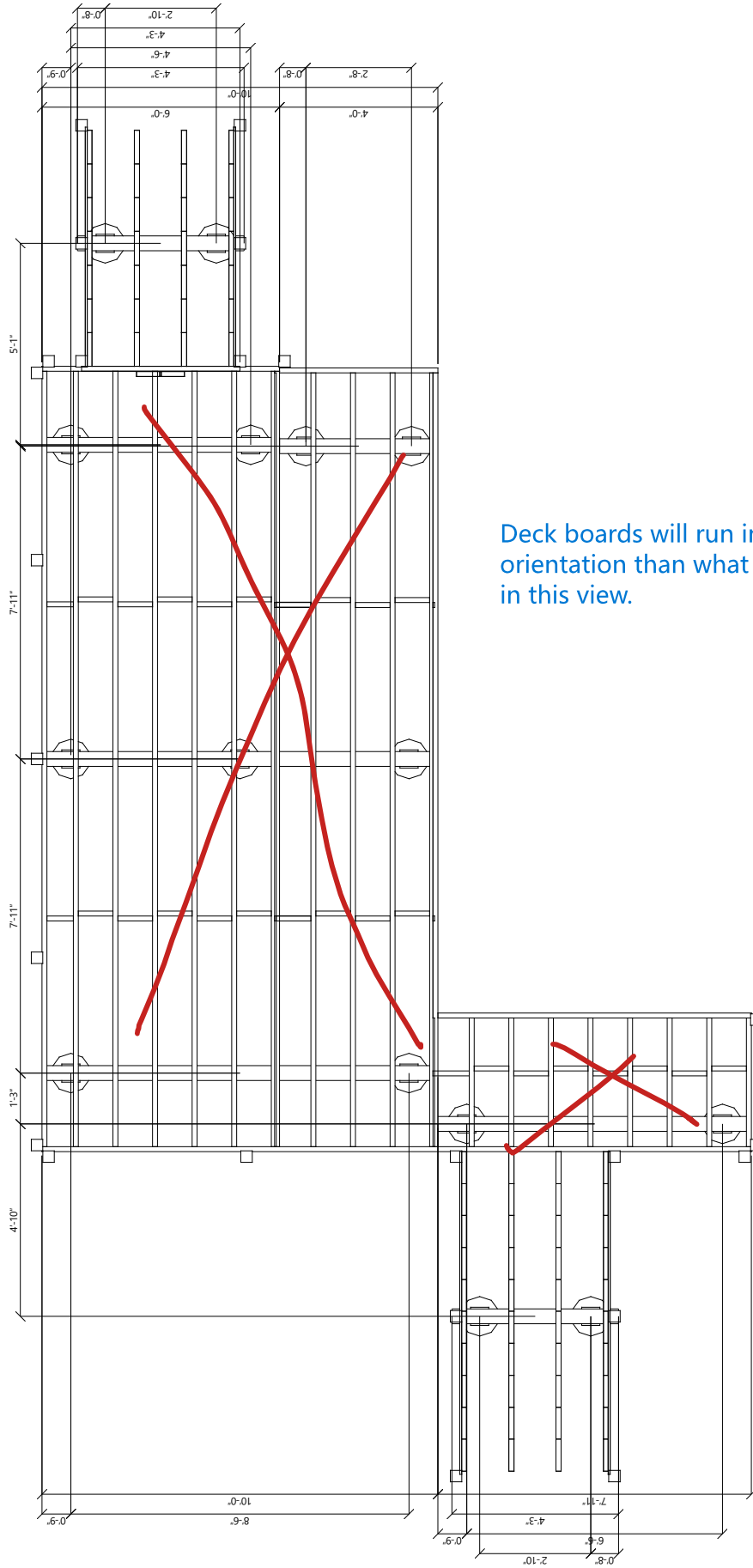
- Extension cord
- Circular saw
- Drills and bits
- Hammer
- Nail set
- Chisel
- Handsaw
- Ladder
- Mallet
- Tool belt

Wood Layout


- Tape measure
- Squares: Rafter/Speed, Framing
- Level/Levels
- Chalk line
- Pencils
- Plumb bob

Tips for the DIYer

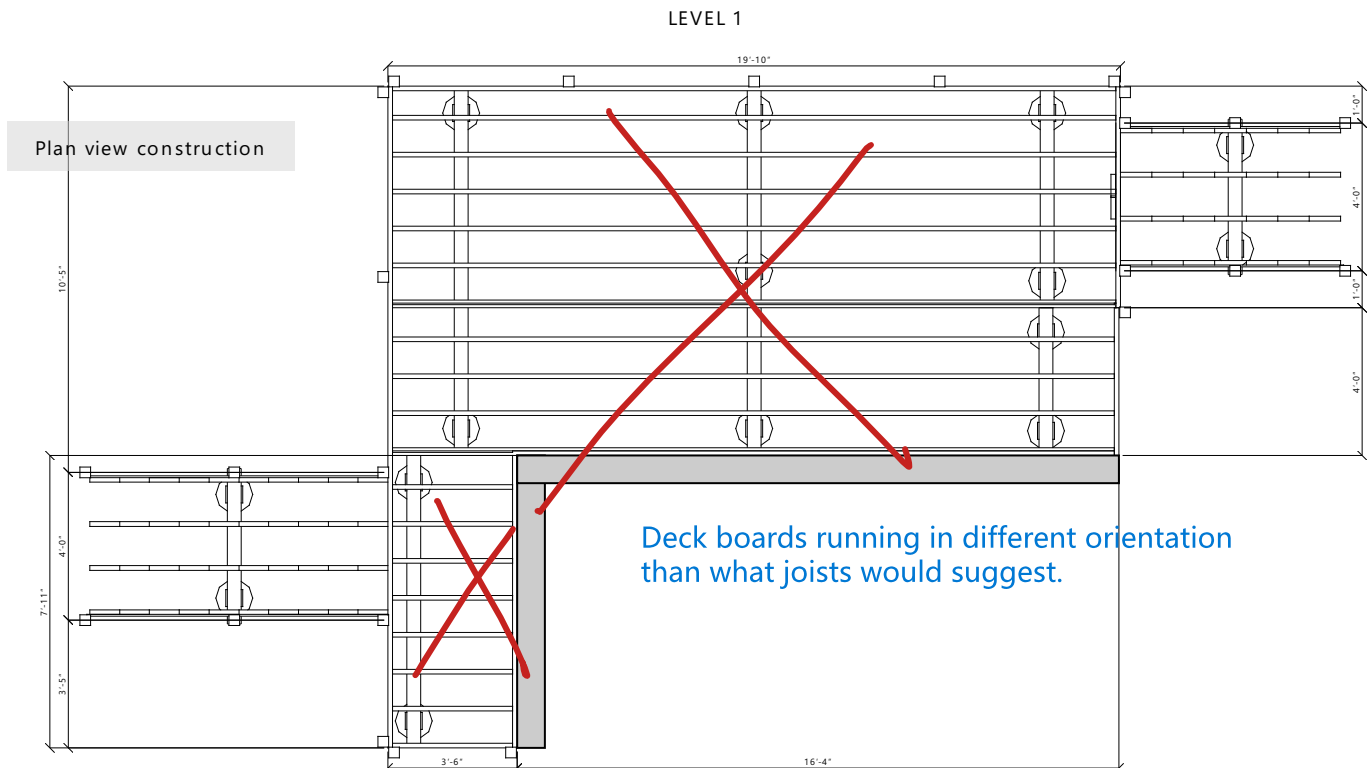
- When cutting or drilling wood, always wear eye protection to prevent injury from flying wood particles.
- If cutting pressure treated material, wearing a fabric breathing mask will help to avoid ingestion of the dust.
- Wear gloves to protect from splinters.
- Invest in a pair of kneepads if you are doing floor jobs or working on a deck.
- Dispose of scraps in the regular trash or take to a landfill - do not burn pressure treated materials.



Deck boards will run in different orientation than what joists suggest in this view.

	NOTES FROM THE CUSTOMER	DESIGN TITLE CEDAR WITH 2 BOARD DIRECTIONS	DRAWING SCALE NOT TO SCALE	JOB ID
	THIS DRAWING WAS GENERATED BY DECK PLANNER SOFTWARE™	CUSTOMER NAME Marco Frank	CHECKED BY	PAGE 7
	CUSTOMER EMAIL ADDRESS mfrana83@yahoo.com	DATE 3/6/2026 3:16 PM	CHECK DATE	STORE
	CUSTOMER PHONE NUMBER	CREATED BY		

Permit Info



Structural Information: Level 1

Height of level (top of decking)	48"
Max. joist span	95 1/4"
Max. joist cantilever	22 1/4"
Max. beam span	102 1/2"
Max. beam cantilever	6"
Footing depth	60"
Footing area (ea.)	9 1/2 ft ²
Designed live load	60 lb/ft ²
Designed dead load	20 lb/ft ²

Deck and Post Height

Your design height is 48" from the top of the decking to the ground level. The top of the deck support posts will therefore be 27" above ground level."

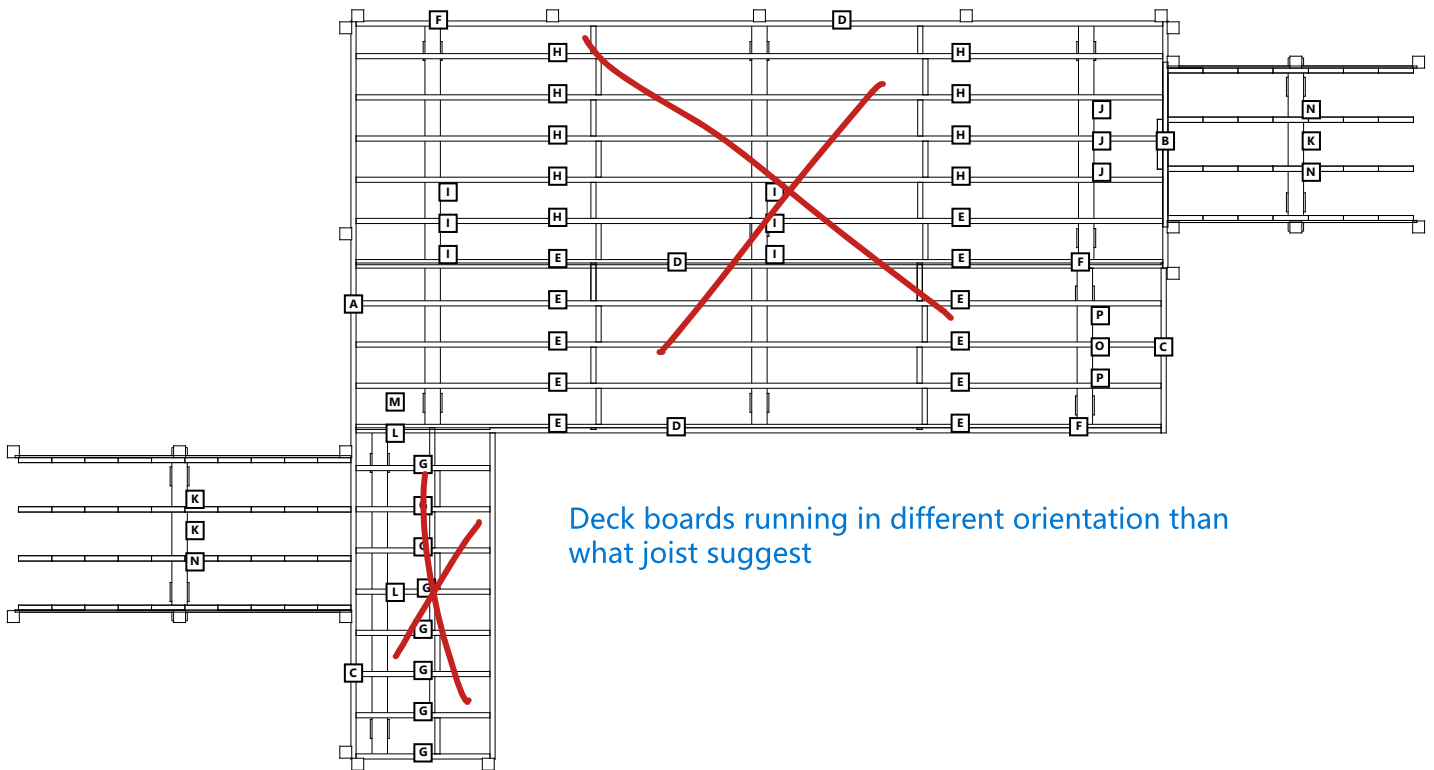
Joists

Set joists on top of beams, 12" center-to-center.

Materials Drawing

MATERIALS DRAWING 1

Plan view,
beams and joists



Materials Cut List

LEVEL 1

Label	Description	Qty	Length	Usage
A	2" x 10" x 14'- Wood SP (Square)	2	167"	Ledgers, Rim Joists, Joists, Blocking
B	2" x 10" x 14'- Wood SP (Square)	1	72"	Ledgers, Rim Joists, Joists, Blocking
C	2" x 10" x 14'- Wood SP (Square)	2	48"	Ledgers, Rim Joists, Joists, Blocking
D	2" x 10" x 16'- Wood SP (Square)	3	187"	Joists, Blocking
E	2" x 10" x 14'- Wood SP (Square)	11	117"	Ledgers, Rim Joists, Joists, Blocking
F	2" x 10" x 14'- Wood SP (Square)	3	48"	Ledgers, Rim Joists, Joists, Blocking
G	2" x 10" x 14'- Wood SP (Square)	8	39"	Ledgers, Rim Joists, Joists, Blocking
H	2" x 10" x 10'- Wood SP (Square)	9	117"	Joists
I	2" x 12" x 16'- Wood SP (Square)	6	120"	Beams, Stringers
J	2" x 12" x 16'- Wood SP (Square)	3	72"	Beams, Stringers
K	2" x 12" x 16'- Wood SP (Square)	3	50 1/2"	Beams, Stringers
L	2" x 12" x 16'- Wood SP (Square)	2	95"	Beams, Stringers
M	2" x 12" x 14'- Wood SP (Square)	1	95"	Beams
N	2" x 12" x 14'- Wood SP (Square)	3	50 1/2"	Beams
O	2" x 12" x 14'- Wood SP (Square)	1	48"	Beams
P	2" x 12" x 8'- Wood SP (Square)	2	48"	Beams
Q	2" x 10" x 14'- Wood SP (Square)	12	42"	Ledgers, Rim Joists, Joists, Blocking
R	2" x 10" x 12'- Wood SP (Square)	3	42"	Joists, Blocking
S	2" x 12" x 14'- Wood SP (Square)	3	167"	Beams
T	2" x 10" x 14'- Wood SP (Square)	1	105"	Ledgers, Rim Joists, Joists, Blocking
U	2" x 10" x 14'- Wood SP (Square)	1	45"	Ledgers, Rim Joists, Joists, Blocking
V	2" x 10" x 16'- Wood SP (Square)	8	45"	Joists, Blocking
W	2" x 10" x 8'- Wood SP (Square)	2	45"	Ledgers, Joists, Blocking, Support Board For Stairs

Label	Description	Qty	Length	Usage
X	2" x 12" x 14'- Wood SP (Square)	3	105"	Beams
Y	2" x 12" x 14'- Wood SP (Square)	3	45"	Beams
	2" x 10" x 8'- Wood SP (Square)	1	95"	Ledgers, Joists, Blocking, Support Board For Stairs
	2" x 10" x 16'- Wood SP (Square)	18	11"	Joists, Blocking
	2" x 10" x 16'- Wood SP (Square)	2	1/2"	Joists, Blocking
	2" x 10" x 12'- Wood SP (Square)	10	10 1/2"	Joists, Blocking
	2" x 10" x 12'- Wood SP (Square)	2	8"	Joists, Blocking
	6" x 6" x 16'- Wood SP	7	26"	Posts/Footings
	6" x 6" x 16'- Wood SP	2	1 1/2"	Posts/Footings
	6" x 6" x 16'- Wood SP	2	1/4"	Posts/Footings
	6" x 6" x 10'- Wood SP	4	26"	Posts/Footings
	2" x 10" x 14'- Wood SP (Square)	1	167"	Ledgers, Rim Joists, Joists, Blocking
	2" x 10" x 14'- Wood SP (Square)	13	10 1/2"	Ledgers, Rim Joists, Joists, Blocking
	2" x 10" x 14'- Wood SP (Square)	1	8"	Ledgers, Rim Joists, Joists, Blocking
	6" x 6" x 8'- Wood SP	7	19"	Posts/Footings
	1" x 6" x 20' - Enhance - Saddle (Square)	20	44 1/2"	Decking, Risers, Treads
	2" x 12" x 10'- Wood DF/HF/SPF (Square)	4	114 3/4"	Stringers
	1" x 6" x 20' - Enhance - Saddle (Square)	30	44 1/2"	Decking, Risers, Treads
	1" x 8" x 12' - Enhance - Saddle	2	108 7/8"	Fascia, Stair Fascia
	2" x 10" x 8'- Wood SP (Square)	1	60"	Ledgers, Joists, Blocking, Support Board For Stairs
	2" x 10" x 8'- Wood SP (Square)	8	10 1/2"	Ledgers, Joists, Blocking, Support Board For Stairs
	2" x 10" x 8'- Wood SP (Square)	1	6"	Ledgers, Joists, Blocking, Support Board For Stairs
	1" x 6" x 16' - Enhance - Saddle (Square)	4	44 1/2"	Decking, Risers, Treads
	2" x 12" x 16'- Wood SP (Square)	4	91 1/2"	Beams, Stringers
	2" x 10" x 8'- Wood SP (Square)	1	48"	Ledgers, Joists, Blocking, Support Board For Stairs

Label	Description	Qty	Length	Usage
	2" x 8" x 8'- Wood SP (Square)	6	19"	Support Blocking For Stairs
	1" x 8" x 12' - Enhance - Saddle	2	86 7/8"	Fascia, Stair Fascia
	1" x 6" x 20' - Enhance - Saddle (Square)	6	74"	Decking, Risers, Treads
	1" x 6" x 16' - Enhance - Saddle (Square)	2	74"	Decking, Risers, Treads
	2" x 12" x 16'- Wood SP (Square)	6	62 1/4"	Beams, Stringers
	2" x 10" x 8'- Wood SP (Square)	1	76"	Ledgers, Joists, Blocking, Support Board For Stairs
	1" x 8" x 12' - Enhance - Saddle	2	59 1/2"	Fascia, Stair Fascia

Railing Kit List

All Materials

Usage	Sub Product	Qty	SKU	Description
Stick Built Items				
	Railing Posts	33/33		Ball Cap
	Top Rails	24/24		Top Rail 2x4 6ft
	Bottom Rails	24/24		Bottom Rail 2x4 6ft
	Infill	268/268		Square Baluster 2x2 29in
	Railing Posts	11/11		4" x 4" x 16' - WFP Truestyle™ Western Red Cedar
	Railing Posts	24/24	DTT2Z	DTT2Z Connector (ZMAX®)(Fasteners and Washers included)

Estimated Materials List

All Materials

Usage	Qty	SKU	Description	Type
Decking	29		1" x 6" x 20' - Enhance - Saddle (Square)	Lumber
Decking	2		1" x 6" x 12' - Enhance - Saddle (Square)	Lumber
Fascia	6		1" x 8" x 12' - Enhance - Saddle	Lumber
Rim Joists	4		2" x 10" x 14' - Wood SP (Square)	Lumber
Ledgers	2		2" x 10" x 8' - Wood SP (Square)	Lumber
Joists	9		2" x 10" x 10' - Wood SP (Square)	Lumber
Joists	14		2" x 10" x 14' - Wood SP (Square)	Lumber
Joists	5		2" x 10" x 16' - Wood SP (Square)	Lumber
Blocking	1		2" x 10" x 12' - Wood SP (Square)	Lumber
Blocking	1		2" x 10" x 16' - Wood SP (Square)	Lumber
Beams	8		2" x 12" x 14' - Wood SP (Square)	Lumber
Beams	7		2" x 12" x 16' - Wood SP (Square)	Lumber
Beams	1		2" x 12" x 8' - Wood SP (Square)	Lumber
Posts/Footings	1		6" x 6" x 10' - Wood SP	Lumber
Posts/Footings	1		6" x 6" x 16' - Wood SP	Lumber
Joists	76	H2.5AZ	H2.5AZ Hurricane Tie (ZMAX®)	Connector
Joists	74	LUS210Z	LUS210Z Joist Hanger with Double-Shear Nailing (ZMAX®)	Connector

Usage	Qty	SKU	Description	Type
Joists	17	LS50Z	LS50Z Skewable Angle (ZMAX®)	Connector
Joists	1	HU28ZSKEW	HU28Z Skewable Joist Hanger (ZMAX®)	Connector
Joists	12	DTT2Z	DTT2Z Connector (ZMAX®)(Fasteners and Washers included)	Connector
Posts/Footings	22	BCS2-3/6Z	BCS2-3/6Z Post Cap (ZMAX®)	Connector
Posts/Footings	22	ABA66Z	ABA66Z Adjustable Post Base with Standoff (ZMAX®)	Connector
Posts/Footings	1		5/8" Diameter Straight Shank Carbide Drill Bit for Concrete & Masonry	Concrete
Posts/Footings	146		80lbs Bag (0.60 CF) Concrete Mix	Concrete
Tape	7	BDFB1550	BDFB1550 - Butyl Deck Flash Barrier 1-5/8" x 50'	Tape
Tape	3	BDFB1220	BDFB1220 - Butyl Deck Flash Barrier 12" x 20'	Tape
Decking	9		1" x 6" x 16' - Enhance - Saddle (Square)	Lumber
Ledgers	1		2" x 10" x 14' - Wood SP (Square)	Lumber
Joists	1		2" x 10" x 12' - Wood SP (Square)	Lumber
Blocking	1		2" x 10" x 14' - Wood SP (Square)	Lumber
Posts/Footings	2		6" x 6" x 8' - Wood SP	Lumber
Risers	6		1" x 6" x 20' - Enhance - Saddle (Square)	Lumber
Stringers	4		2" x 12" x 10' - Wood DF/HF/SPF (Square)	Lumber
Treads	8		1" x 6" x 20' - Enhance - Saddle (Square)	Lumber
Stair Fascia	5		1" x 8" x 12' - Enhance - Saddle	Lumber

Usage	Qty	SKU	Description	Type
Stringers	14	LSCZ	LSCZ Adjustable Stair-Stringer Connector (ZMAX®)	Connector
Joists	1		2" x 10" x 8'- Wood SP (Square)	Lumber
Blocking	1		2" x 10" x 8'- Wood SP (Square)	Lumber
Risers	2		1" x 6" x 16' - Enhance - Saddle (Square)	Lumber
Stringers	4		2" x 12" x 16'- Wood SP (Square)	Lumber
Treads	2		1" x 6" x 16' - Enhance - Saddle (Square)	Lumber
Support Board For Stairs	2		2" x 10" x 8'- Wood SP (Square)	Lumber
Support Blocking For Stairs	2		2" x 8" x 8'- Wood SP (Square)	Lumber
Decking	4	DCU234P305	10 X 2-3/4 DCU T20 SS305, 350ct	Fastener
	4	T08175FS75TN01	#8X1.75 316SS FASCIA SCREW T20 TN01 75CT	Fastener
Decking	3	TRX100SD	TREX 100-SQFT 375PLUGS SADDLE	Fastener
Decking	1	TRX20SD	TREX 20-SQFT 75PLUGS SADDLE	Fastener
Fastener	1	fsbit	FASCIA SCREW COUNTERSINK BIT	Fastener
Rim Joists	3	SDWS16300QR75	3 IN SDWS Framing Screw 75ct	Fastener
	3	SDWS22400DB-R50	SDWS22400DB Structural Wood Screw (50)	Fastener
	3	SDWS22400DB-RC12	SDWS22400DB Structural Wood Screw (12)	Fastener
Joists	1	N8D5HDG	Strong-Drive® SCN 1 1/2" x .131", 10 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener

Usage	Qty	SKU	Description	Type
Joists	1	N8DHDG	Strong-Drive® SCN 1 1/2" x .131", 10 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
	1	N10D5HDG	Strong-Drive® SCN 1 1/2" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
	4	N10DHDG	Strong-Drive® SCN 1 1/2" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
Joists	1	10D5HDG	Strong-Drive® SCN 3" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
Joists	1	10DHDG	Strong-Drive® SCN 3" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
	2	16D5HDG	Strong-Drive® SCN 3 1/2" x .162", 8 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
	1	16DHDG	Strong-Drive® SCN 3 1/2" x .162", 8 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
Joists	12	1/2 MBHDGH	1/2" diameter HDG Machine Bolts: length calculated (1)	Fastener
Joists	12	NUT-1/2 MBHDG	Nut for 1/2" Bolt, Oversized Threads (Hot-Dip Galvanized) (1)	Fastener
Posts/Footings	22	THDB62600H4SSF1	5/8" x 6" Type 304 Stainless Steel Titen HD® Heavy-Duty Screw Anchor	Fastener
	1	S10250WPP	DWP #10 2-1/2IN 305SS FLAT T25 350CT	Fastener
	1	S10250WP1	DWP #10 2-1/2IN 305SS FLAT T25 1#	Fastener
Support Blocking For Stairs	2	SDWS22300DB-RC12	SDWS22300DB Structural Wood Screw (12)	Fastener

Dealer Locations

Approved dealers local to your ZIP code.

Dealer Name	Address	Phone
Scherer Brothers Lumber Co - Shakopee	3253 4th Ave E, Shakopee, 55379-1772, US	+1 952-496-5500
UglyDeck.com / All Seasons Building Co.	4870 12th Ave E, Shakopee, 55379-1892, US	+1 952-895-6076
HOME DEPOT #2812 (EDEN PRAIRIE)	13100 Valley View Rd, Eden Prairie, 55344-3661, US	+1 952-949-0982
LOWE'S #2628 (SHAKOPEE)	4270 Dean Lakes Blvd, Shakopee, 55379-2828, US	+1 952-367-9000
US LBM-LYMAN LUMBER-CHANHASSEN	18900 W 78th St, Chanhassen, 55317-9343, US	+1 952-470-4800
HOME DEPOT #2841 (SHAKOPEE)	1701 County Road 18, Shakopee, 55379-8119, US	+1 952-496-3076
HOME DEPOT #2825 (CHASKA)	300 Pioneer Trl, Chaska, 55318-1127, US	+1 952-368-0281
Scherer Brothers Lumber Co - Hopkins	330 11th Ave S, Hopkins, 55343-7831, US	+1 952-938-2741
Tamarack Materials Inc. Bloomington (GMS)	9300 James Ave S, Bloomington, 55431-2317, US	+1 952-888-5556
Southern Carlson - Burnsville	12571 Oliver Ave S, Burnsville, 55337-6665, US	+1 651-688-0077
Construction Materials, Inc.	6725 Oxford St, St Louis Park, 55426-4411, US	+1 952-929-0431
HOME DEPOT #2805 (BLOOMINGTON)	400 American Blvd W, Bloomington, 55420-1124, US	+1 952-881-7020
MILLS FLEET FARM - CARVER	1935 Levi Griffin Rd, Carver, 55315-5801, US	
USA Tool Depot	209 E 78th St, Bloomington, 55420-1249, US	+1 877-520-8665
HOME DEPOT #2809 (BURNSVILLE)	155 W Nicollet Blvd, Burnsville, 55337-4575, US	+1 952-898-6960

Please re-enter your ZIP code in the user settings of Deck planner and re publish a report if the results are not desirable.

Legal Disclaimer

Effective Date: March 06, 2026

LEGAL DISCLAIMER

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The App is not designed to perform any of the engineering calculations or structural design required for building construction. Due to the size, shape, location or other considerations, the design set forth in the Report may require supporting structures that are not included in the Report. The App and Report are intended to be used only in conjunction with Simpson Strong-Tie® products. Before beginning any project, you should review all of the information about the Simpson Strong-Tie® products that is available on www.strongtie.com. Any use of the App or the Report is at your own risk.

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You should consult with local authorities to ensure that your project complies with all applicable zoning and building codes, requirements and practices, which vary greatly depending on your location. You are responsible for ensuring that the project (including the design set forth in the Report and any substitutions or modifications you make) complies with all applicable zoning and building codes, requirements and practices (including requirements for lighting).

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Shared Dealer Locator
Report



Cedar with 2 board directions

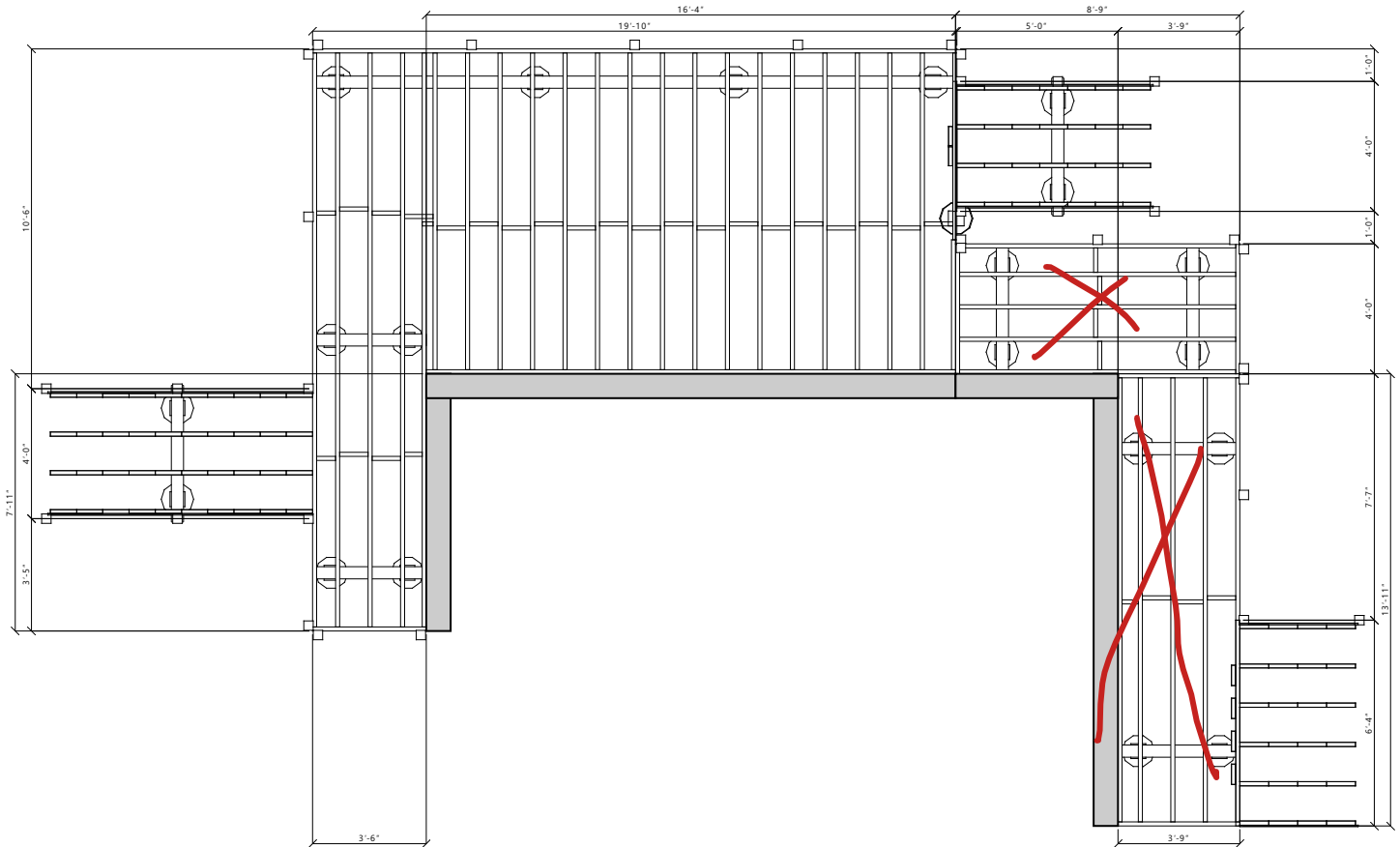
Deck Planner Software™ Report

All lengths, areas, weights, masses and structural forces are expressed in U.S. Customary units unless otherwise specified.

This report was created 3/6/2026 3:18 PM by Deck Planner Software™

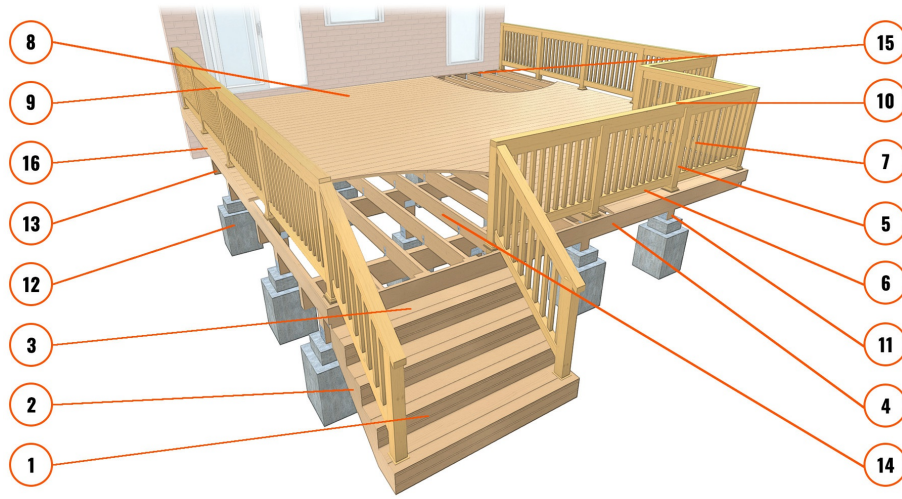
Your Planned Deck Design

Plan view construction



Deck boards will run Blue to Down on the deck for the 2 sections crossed out above

Glossary Of Decking Terms



1. Risers: The vertical boards attached to the stair stringers. Many localities require risers to prevent possible trip hazards.

2. Stringers: The structural support for stairs. They have limits on how much weight they can carry, so size and spacing are important considerations. Composite manufacturers provide recommended stringer spacing to support the tread material.

3. Treads: The horizontal stair surfaces on which deck users walk.

4. Rim Joist: Also known as edge bands, the rim joist wraps the deck and keeps the joists standing on edge, while also providing a solid surface for attaching railing posts. Proper attachment is critical to installing a safe railing.

5. Rail Post: Vertical lumber member that supports the handrail and resists the outward force of people leaning on the railings.

6. Bottom Rails: Lumber members that connect to the rail posts and provide a solid surface for securing the infills.

7. Infills: Also known as balusters or pickets, the infills are connected to the top and bottom rails and provide a barrier against falls.

8. Decking: When properly attached to each joist and rim joist, the decking surface (whether wood or composite material) helps unify the entire structure.

9. Rail Cap: Much like the decking, the rail cap unifies the railing system and provides a decorative feature.

10. Top Rails: These members have the same stabilizing function as the bottom rails.

11. Post: Vertical structural member that supports the beams and attaches the deck to the footings using a post base.

12. Footing: Concrete element that serves as the foundation of the deck.

13. Beams: Structural members that support the decking floor joists. Beams are made of doubling 2x material and can be installed as a laminate, sandwiched, or notched into the post.

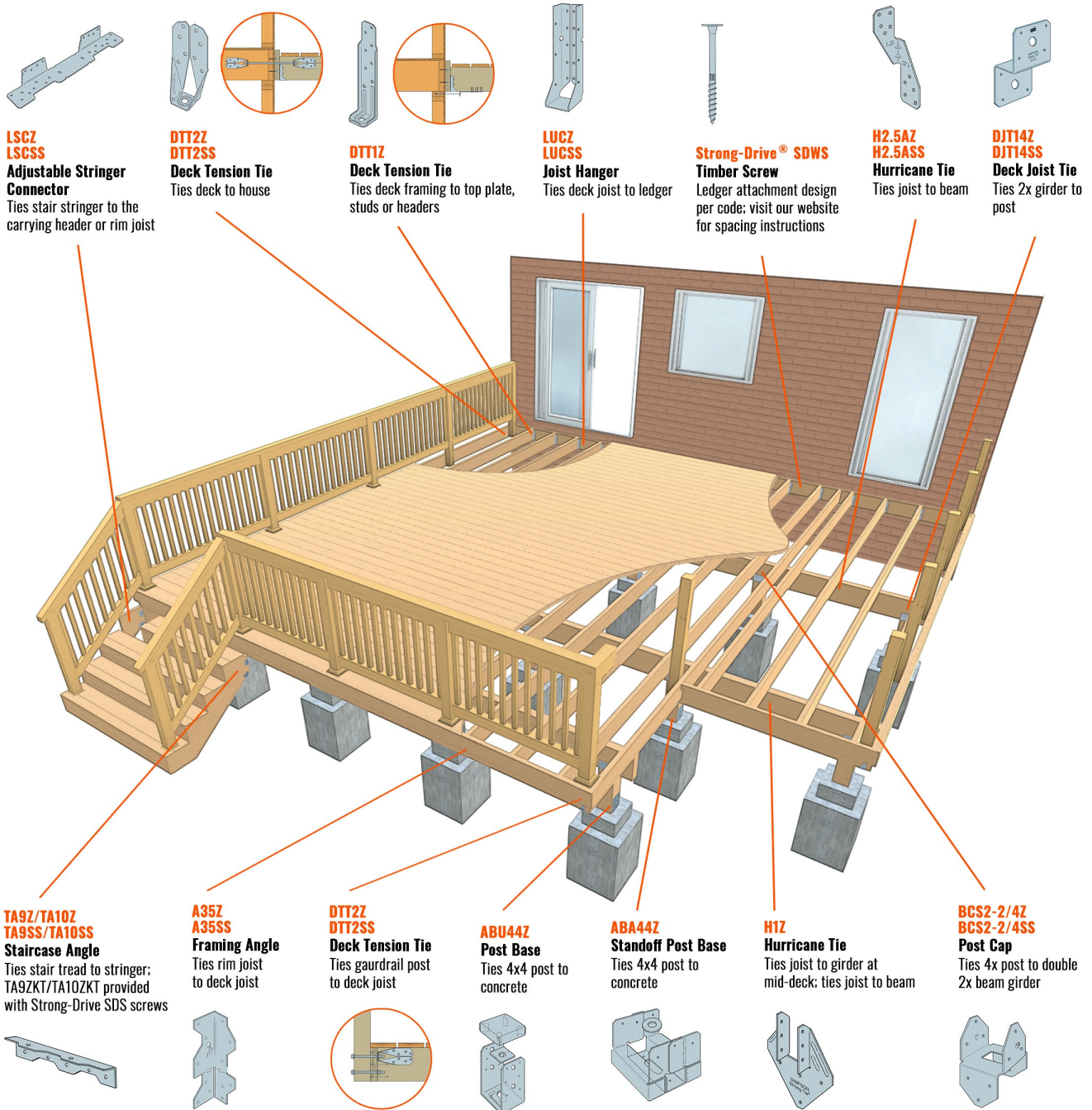
It is important to have a post of sufficient size and strength to support the beam. The beam should not be any wider than the thickness of the post, and should be secured with the correct post cap.

14. Joists: Wood members installed across the beams and spaced to accommodate the decking material. The joist spacing may depend on the angle at which the deck boards are applied.

15. Ledger: The ledger is a crucial connection because it attaches the deck to the house. The material used to construct the house may determine the type of connection. Consult local building officials on the recommended connection.

16. Fascia: Vertical boards that face outwards from the edges of the deck, attached to the rim joists. Fascia boards typically consist of a lumber species that matches the appearance of the decking material.

A Complete Connector System for Building Safer, Code-Compliant Decks



**LSCZ
LSCSS**
Adjustable Stringer Connector
Ties stair stringer to the carrying header or rim joist

**DTT2Z
DTT2SS**
Deck Tension Tie
Ties deck to house

DTT1Z
Deck Tension Tie
Ties deck framing to top plate, studs or headers

**LUCZ
LUCSS**
Joist Hanger
Ties deck joist to ledger

Strong-Drive® SDWS
Timber Screw
Ledger attachment design per code; visit our website for spacing instructions

**H2.5AZ
H2.5ASS**
Hurricane Tie
Ties joist to beam

**DJT14Z
DJT14SS**
Deck Joist Tie
Ties 2x girder to post

**TA9Z/TA10Z
TA9SS/TA10SS**
Staircase Angle
Ties stair tread to stringer; TA9ZKT/TA10ZKT provided with Strong-Drive SDS screws

**A35Z
A35SS**
Framing Angle
Ties rim joist to deck joist

**DTT2Z
DTT2SS**
Deck Tension Tie
Ties gaurd rail post to deck joist

ABU44Z
Post Base
Ties 4x4 post to concrete

ABA44Z
Standoff Post Base
Ties 4x4 post to concrete

H1Z
Hurricane Tie
Ties joist to girder at mid-deck; ties joist to beam

**BCS2-2/4Z
BCS2-2/4SS**
Post Cap
Ties 4x post to double 2x beam girder

Installation Considerations

Building Code and Zoning Requirements

Check deed restrictions, building codes and zoning laws to make sure your deck complies. The local building jurisdiction will require a minimum setback from property lines. Check with local utility companies to make sure deck construction will not disturb underground piping or wiring.

A resource for general residential deck codes and building practices is the Prescriptive Residential Deck Construction Guide, by the American Wood Council (free download from www.awc.org).

The local building jurisdiction should be consulted to verify any building code requirements specific to the area.

Deck Function

While planning your deck, consider how it will be used. Sun/shade areas and possible views are common considerations.

Lumber

Pressure- or preservative-treated lumber, or lumber that is naturally decay resistant, should be used for durability. Cut edges should be field-treated with preservative.

Fasteners and Connectors

To resist corrosion, fasteners and connectors in contact with treated lumber should be ZMAX®, hot-dip galvanized (HDG) or made with stainless steel.

Consult with the building code, the preservative treatment manufacturer and strongtie.com to get recommendations for your conditions. Fasteners and connectors should be made of the same material (i.e. both of them galvanized, both of them HDG or both in stainless steel).

Ledgers

Proper corrosion-resistant flashing should be installed between a deck ledger and the house. The ledger should be installed directly to the framing, with any siding removed.

Deck Area and Footing Layout

Batter boards (temporary wood supports, such as 2x4s), mason's string and a plumb bob can be used to lay out the deck area and footings. For a rectangular shape, the corners will be square when the lengths of the two diagonals are equal.

Footings

Holes for footings will need to be dug to a depth below the frost line.

Post Bracing

Diagonal bracing between posts and joists/beams should be installed according to the building code.

Posts and Beams

Allow an additional margin in length to the posts. Determine the desired deck floor height on the post and then cut to the appropriate length.

Attaching Joists

Attach joists to the ledger board with joist hangers.

Laying Decking

Drill pilot holes into the ends of boards to prevent splitting. Allow space between boards.

Guardrails

Guardrails must be adequately attached to the framing members of the deck. The building code has limits on the size of openings that are permitted in the guard system.

Stairs and Handrails

Stairs should be at least 91cm wide. The building code has limits on the size of openings in a flight of stairs and specific directions for providing handrails.

Tools Required

The checklist provided should be used as a quick guide only, and we highly recommend consulting some additional resources listed here:

www.strongtie.com/solutions/deckcenter

Concrete Work

- Pick
- Post hole digger
- Shovel
- Wheelbarrow
- Hoe and hose (to mix concrete)
- Tamper

Concrete Layout

- Stakes or batter boards
- String
- Transit

Safety

- Eye Protection
- Hearing protection
- Dust mask
- Gloves
- Kneepads

Wood Work

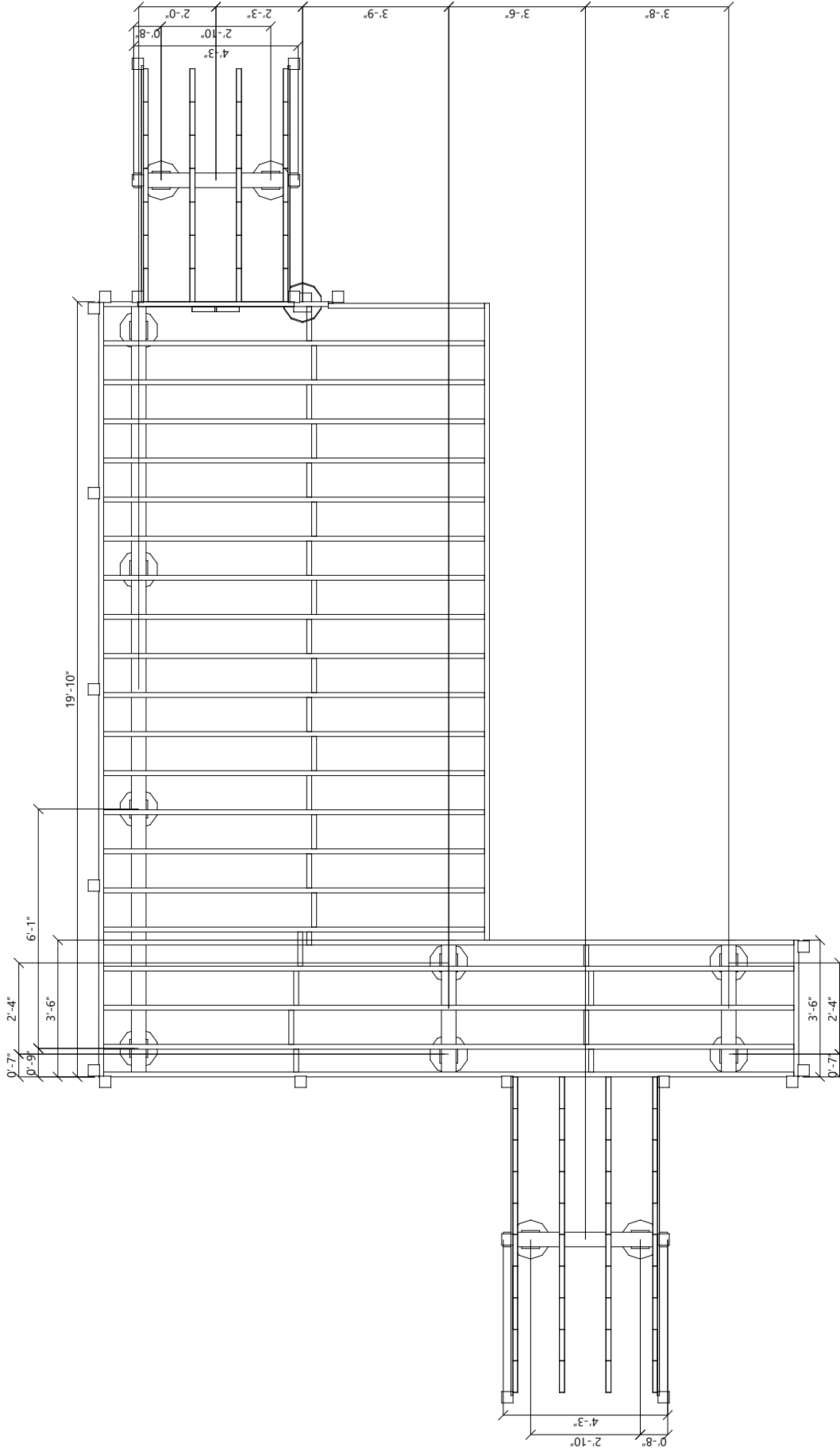
- Extension cord
- Circular saw
- Drills and bits
- Hammer
- Nail set
- Chisel
- Handsaw
- Ladder
- Mallet
- Tool belt

Wood Layout

- Tape measure
- Squares: Rafter/Speed, Framing
- Level/Levels
- Chalk line
- Pencils
- Plumb bob

Tips for the DIYer

- When cutting or drilling wood, always wear eye protection to prevent injury from flying wood particles.
- If cutting pressure treated material, wearing a fabric breathing mask will help to avoid ingestion of the dust.
- Wear gloves to protect from splinters.
- Invest in a pair of kneepads if you are doing floor jobs or working on a deck.
- Dispose of scraps in the regular trash or take to a landfill - do not burn pressure treated materials.



NOTES FROM THE CUSTOMER

DESIGN TITLE

CEDAR WITH 2 BOARD DIRECTIONS

CUSTOMER NAME

Marco Frank

CUSTOMER EMAIL ADDRESS

mfrana83@yahoo.com

CUSTOMER PHONE NUMBER

DRAWING

1

SCALE

NOT TO SCALE

CHECKED BY

CHECK DATE

JOB ID

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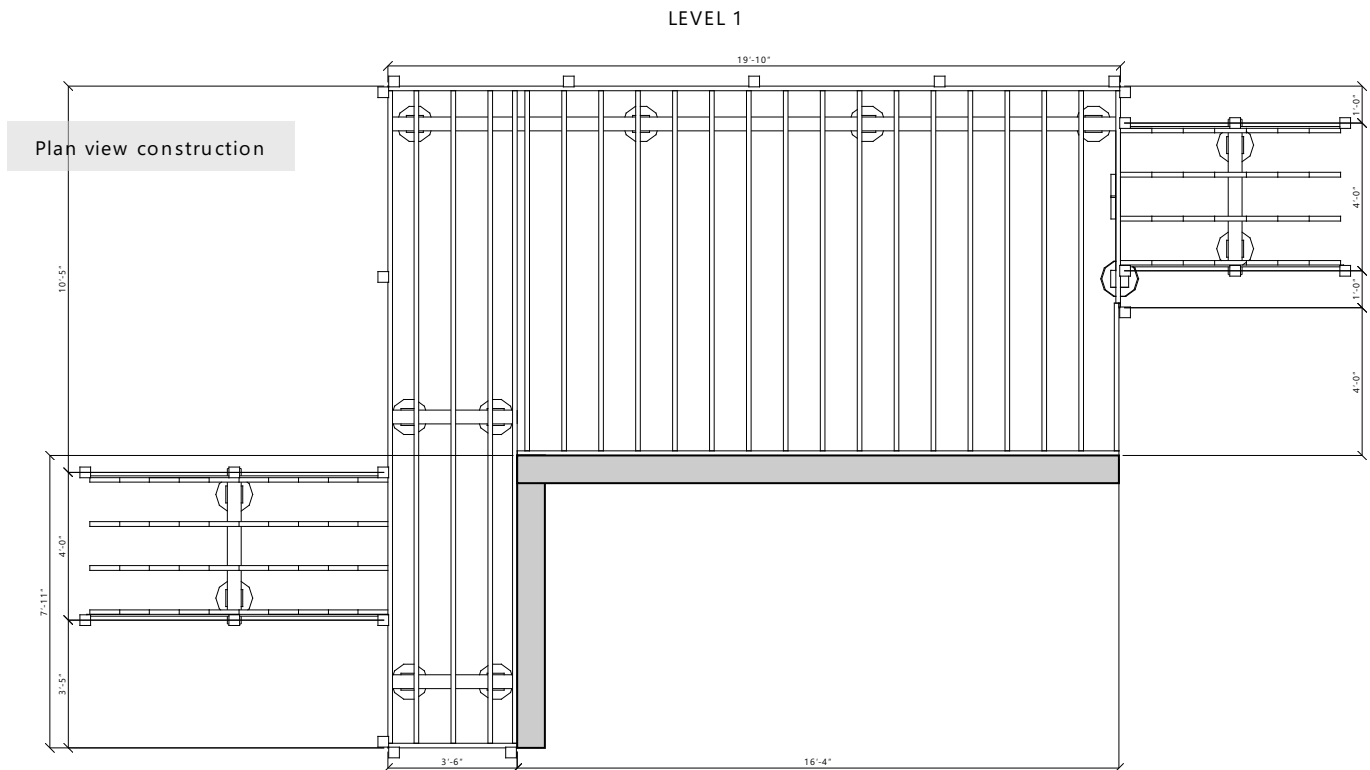
7

STORE



THIS DRAWING WAS GENERATED BY
DECK PLANNER SOFTWARE™

Permit Info



Structural Information: Level 1

Height of level (top of decking)	48"
Max. joist span	106 1/4"
Max. joist cantilever	20"
Max. beam span	73 1/2"
Max. beam cantilever	6"
Footing depth	60"
Footing area (ea.)	9 1/2 ft ²
Designed live load	60 lb/ft ²
Designed dead load	20 lb/ft ²

Deck and Post Height

Your design height is 48" from the top of the decking to the ground level. The top of the deck support posts will therefore be 27" above ground level."

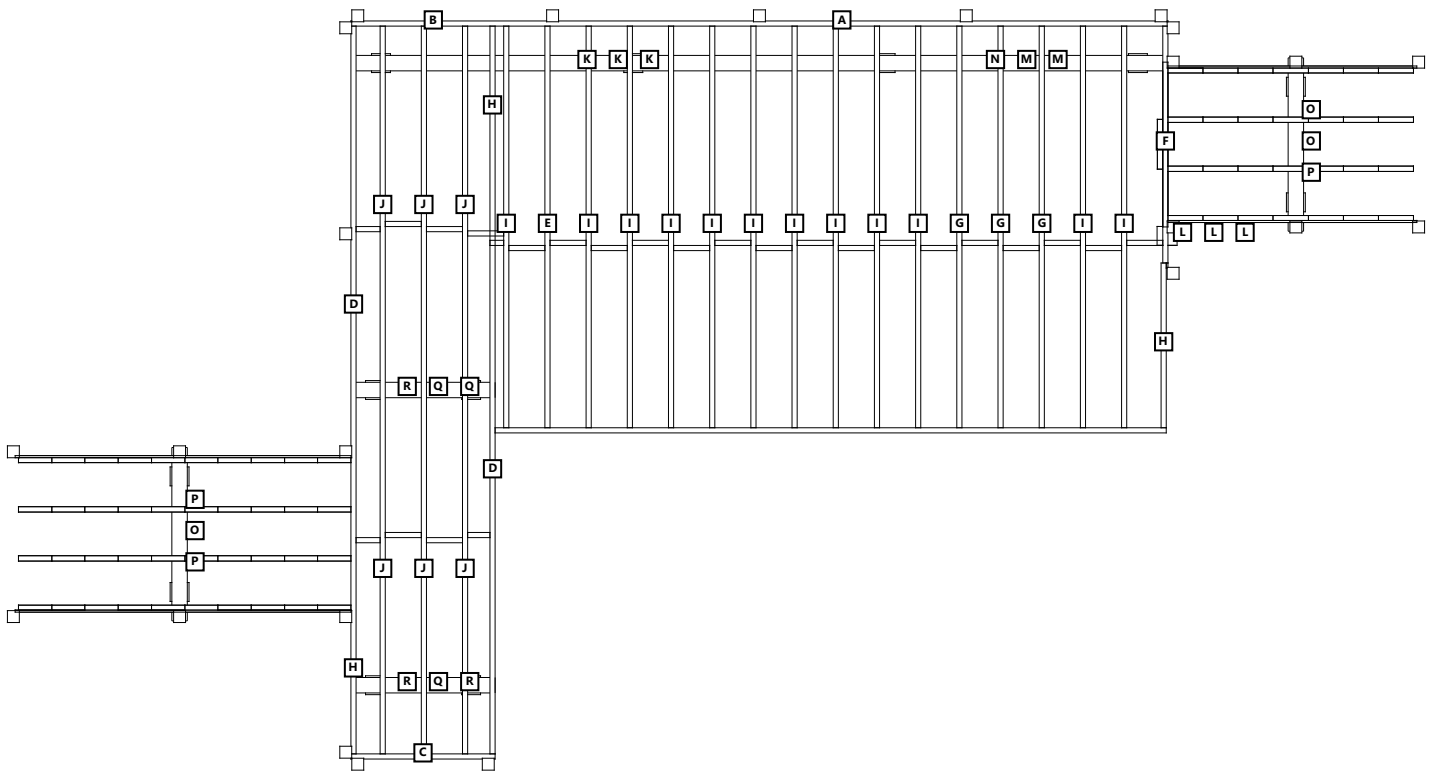
Joists

Set joists on top of beams, 12" center-to-center.

Materials Drawing

MATERIALS DRAWING 1

Plan view,
beams and joists



Materials Cut List

LEVEL 1

Label	Description	Qty	Length	Usage
A	2" x 10" x 16'- Wood SP (Square)	1	190"	Rim Joists, Joists, Blocking
AA	2" x 12" x 8'- Wood SP (Square)	2	48"	Beams
B	2" x 10" x 8'- Wood SP (Square)	3	48"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
C	2" x 10" x 8'- Wood SP (Square)	1	42"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
D	2" x 10" x 14'- Wood SP (Square)	7	164"	Ledgers, Joists
E	2" x 10" x 16'- Wood SP (Square)	1	117"	Rim Joists, Joists, Blocking
F	2" x 10" x 16'- Wood SP (Square)	1	69"	Rim Joists, Joists, Blocking
G	2" x 10" x 14'- Wood SP (Square)	3	117"	Ledgers, Joists
H	2" x 10" x 14'- Wood SP (Square)	3	48"	Ledgers, Joists
I	2" x 10" x 10'- Wood SP (Square)	12	117"	Joists
J	2" x 10" x 10'- Wood SP (Square)	6	106"	Joists
K	2" x 12" x 14'- Wood SP (Square)	3	156"	Beams
L	2" x 12" x 14'- Wood SP (Square)	3	1/2"	Beams
M	2" x 12" x 14'- Wood SP (Square)	2	82"	Beams
N	2" x 12" x 16'- Wood SP (Square)	1	82"	Beams, Stringers
O	2" x 12" x 16'- Wood SP (Square)	3	50 1/2"	Beams, Stringers
P	2" x 12" x 14'- Wood SP (Square)	3	50 1/2"	Beams
Q	2" x 12" x 16'- Wood SP (Square)	3	42"	Beams, Stringers
R	2" x 12" x 12'- Wood SP (Square)	3	42"	Beams
S	2" x 10" x 8'- Wood SP (Square)	2	45"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
T	2" x 12" x 16'- Wood SP (Square)	4	45"	Beams, Stringers
U	2" x 12" x 8'- Wood SP (Square)	2	45"	Beams
V	2" x 10" x 14'- Wood SP (Square)	2	102"	Ledgers, Joists
W	2" x 10" x 14'- Wood SP (Square)	1	58"	Ledgers, Joists

Label	Description	Qty	Length	Usage
X	2" x 10" x 14'- Wood SP (Square)	1	44"	Ledgers, Joists
Y	2" x 10" x 10'- Wood SP (Square)	2	102"	Joists
Z	2" x 12" x 16'- Wood SP (Square)	4	48"	Beams, Stringers
	2" x 10" x 14'- Wood SP (Square)	1	148"	Ledgers, Joists
	2" x 10" x 8'- Wood SP (Square)	1	48"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
	2" x 10" x 16'- Wood SP (Square)	18	10 1/2"	Rim Joists, Joists, Blocking
	2" x 10" x 8'- Wood SP (Square)	9	10 1/2"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
	2" x 10" x 8'- Wood SP (Square)	4	7"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
	2" x 10" x 8'- Wood SP (Square)	1	4"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
	6" x 6" x 16'- Wood SP	7	26"	Posts/Footings
	6" x 6" x 16'- Wood SP	2	1 1/2"	Posts/Footings
	6" x 6" x 16'- Wood SP	2	1/4"	Posts/Footings
	6" x 6" x 8'- Wood SP	3	26"	Posts/Footings
	6" x 6" x 8'- Wood SP	8	19"	Posts/Footings
	1" x 6" x 20' - Enhance - Saddle (Square)	20	44 1/2"	Decking, Risers, Treads
	2" x 12" x 10'- Wood DF/HF/SPF (Square)	4	114 3/4"	Stringers
	1" x 6" x 20' - Enhance - Saddle (Square)	30	44 1/2"	Decking, Risers, Treads
	1" x 8" x 12' - Enhance - Saddle	2	108 7/8"	Fascia, Stair Fascia
	2" x 10" x 8'- Wood SP (Square)	1	9"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
	1" x 6" x 16' - Enhance - Saddle (Square)	4	44 1/2"	Decking, Risers, Treads
	2" x 12" x 16'- Wood SP (Square)	4	91 1/2"	Beams, Stringers
	2" x 8" x 8'- Wood SP (Square)	6	19"	Support Blocking For Stairs
	1" x 8" x 12' - Enhance - Saddle	2	86 7/8"	Fascia, Stair Fascia
	1" x 6" x 20' - Enhance - Saddle (Square)	6	74"	Decking, Risers, Treads
	1" x 6" x 16' - Enhance - Saddle (Square)	2	74"	Decking, Risers, Treads

Label	Description	Qty	Length	Usage
	2" x 12" x 16'- Wood SP (Square)	6	62 1/4"	Beams, Stringers
	2" x 10" x 8'- Wood SP (Square)	1	76"	Ledgers, Rim Joists, Blocking, Support Board For Stairs
	1" x 8" x 12' - Enhance - Saddle	2	59 1/2"	Fascia, Stair Fascia

Railing Kit List

All Materials

Usage	Sub Product	Qty	SKU	Description
Stick Built Items				
	Railing Posts	33/33		Ball Cap
	Top Rails	24/24		Top Rail 2x4 6ft
	Bottom Rails	24/24		Bottom Rail 2x4 6ft
	Infill	268/268		Square Baluster 2x2 29in
	Railing Posts	11/11		4" x 4" x 16' - WFP Truestyle™ Western Red Cedar
	Railing Posts	24/24	DTT2Z	DTT2Z Connector (ZMAX®)(Fasteners and Washers included)

Estimated Materials List

All Materials

Usage	Qty	SKU	Description	Type
Decking	35		1" x 6" x 20' - Enhance - Saddle (Square)	Lumber
Decking	1		1" x 6" x 12' - Enhance - Saddle (Square)	Lumber
Fascia	6		1" x 8" x 12' - Enhance - Saddle	Lumber
Rim Joists	3		2" x 10" x 8'- Wood SP (Square)	Lumber
Rim Joists	1		2" x 10" x 16'- Wood SP (Square)	Lumber
Ledgers	1		2" x 10" x 8'- Wood SP (Square)	Lumber
Ledgers	1		2" x 10" x 14'- Wood SP (Square)	Lumber
Joists	20		2" x 10" x 10'- Wood SP (Square)	Lumber
Joists	12		2" x 10" x 14'- Wood SP (Square)	Lumber
Joists	1		2" x 10" x 16'- Wood SP (Square)	Lumber
Blocking	3		2" x 10" x 8'- Wood SP (Square)	Lumber
Blocking	1		2" x 10" x 16'- Wood SP (Square)	Lumber
Beams	5		2" x 12" x 14'- Wood SP (Square)	Lumber
Beams	4		2" x 12" x 16'- Wood SP (Square)	Lumber
Beams	1		2" x 12" x 12'- Wood SP (Square)	Lumber
Posts/Footings	1		6" x 6" x 16'- Wood SP	Lumber
Posts/Footings	3		6" x 6" x 8'- Wood SP	Lumber

Usage	Qty	SKU	Description	Type
Joists	52	H2.5AZ	H2.5AZ Hurricane Tie (ZMAX®)	Connector
Joists	50	LUS210Z	LUS210Z Joist Hanger with Double-Shear Nailing (ZMAX®)	Connector
Joists	16	LS50Z	LS50Z Skewable Angle (ZMAX®)	Connector
Joists	4	DTT2Z	DTT2Z Connector (ZMAX®)(Fasteners and Washers included)	Connector
Posts/Footings	20	BCS2-3/6Z	BCS2-3/6Z Post Cap (ZMAX®)	Connector
Posts/Footings	22	ABA66Z	ABA66Z Adjustable Post Base with Standoff (ZMAX®)	Connector
Posts/Footings	4	LPC6Z	LPC6Z Post Cap (ZMAX®)	Connector
Posts/Footings	1		5/8" Diameter Straight Shank Carbide Drill Bit for Concrete & Masonry	Concrete
Posts/Footings	146		80lbs Bag (0.60 CF) Concrete Mix	Concrete
Tape	7	BDFB1550	BDFB1550 - Butyl Deck Flash Barrier 1-5/8" x 50'	Tape
Tape	2	BDFB1220	BDFB1220 - Butyl Deck Flash Barrier 12" x 20'	Tape
Beams	2		2" x 12" x 8' - Wood SP (Square)	Lumber
Risers	6		1" x 6" x 20' - Enhance - Saddle (Square)	Lumber
Stringers	4		2" x 12" x 10' - Wood DF/HF/SPF (Square)	Lumber
Treads	8		1" x 6" x 20' - Enhance - Saddle (Square)	Lumber
Stair Fascia	5		1" x 8" x 12' - Enhance - Saddle	Lumber
Stringers	14	LSCZ	LSCZ Adjustable Stair-Stringer Connector (ZMAX®)	Connector
Decking	1		1" x 6" x 16' - Enhance - Saddle (Square)	Lumber

Usage	Qty	SKU	Description	Type
Risers	2		1" x 6" x 16' - Enhance - Saddle (Square)	Lumber
Stringers	4		2" x 12" x 16' - Wood SP (Square)	Lumber
Treads	2		1" x 6" x 16' - Enhance - Saddle (Square)	Lumber
Support Board For Stairs	2		2" x 10" x 8' - Wood SP (Square)	Lumber
Support Blocking For Stairs	2		2" x 8" x 8' - Wood SP (Square)	Lumber
Decking	2	DCU234MB305	10 X 2-3/4 DCU T20 SS305, 1750ct	Fastener
	4	T08175FS75TN01	#8X1.75 316SS FASCIA SCREW T20 TN01 75CT	Fastener
Decking	5	TRX100SD	TREX 100-SQFT 375PLUGS SADDLE	Fastener
Fastener	1	fsbit	FASCIA SCREW COUNTERSINK BIT	Fastener
Rim Joists	2	SDWS16300QR75	3 IN SDWS Framing Screw 75ct	Fastener
	2	SDWS22400DB-R50	SDWS22400DB Structural Wood Screw (50)	Fastener
	2	SDWS22400DB-RC12	SDWS22400DB Structural Wood Screw (12)	Fastener
Joists	4	N8DHDG	Strong-Drive® SCN 1 1/2" x .131", 10 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
	1	N10D5HDG	Strong-Drive® SCN 1 1/2" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
	2	N10DHDG	Strong-Drive® SCN 1 1/2" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
	2	10D5HDG	Strong-Drive® SCN 3" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
Joists	4	1/2 MBHDGH	1/2" diameter HDG Machine Bolts: length calculated (1)	Fastener

Usage	Qty	SKU	Description	Type
Joists	4	NUT-1/2 MBHDG	Nut for 1/2" Bolt, Oversized Threads (Hot-Dip Galvanized) (1)	Fastener
Posts/Footings	1	16D5HDG	Strong-Drive® SCN 3 1/2" x .162", 8 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
Posts/Footings	4	16DHDG	Strong-Drive® SCN 3 1/2" x .162", 8 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
Posts/Footings	22	THDB62600H4SSF1	5/8" x 6" Type 304 Stainless Steel Titen HD® Heavy-Duty Screw Anchor	Fastener
	1	S10250WPP	DWP #10 2-1/2IN 305SS FLAT T25 350CT	Fastener
	1	S10250WP1	DWP #10 2-1/2IN 305SS FLAT T25 1#	Fastener
Support Blocking For Stairs	2	SDWS22300DB-RC12	SDWS22300DB Structural Wood Screw (12)	Fastener

Dealer Locations

Approved dealers local to your ZIP code.

Dealer Name	Address	Phone
Scherer Brothers Lumber Co - Shakopee	3253 4th Ave E, Shakopee, 55379-1772, US	+1 952-496-5500
UglyDeck.com / All Seasons Building Co.	4870 12th Ave E, Shakopee, 55379-1892, US	+1 952-895-6076
HOME DEPOT #2812 (EDEN PRAIRIE)	13100 Valley View Rd, Eden Prairie, 55344-3661, US	+1 952-949-0982
LOWE'S #2628 (SHAKOPEE)	4270 Dean Lakes Blvd, Shakopee, 55379-2828, US	+1 952-367-9000
US LBM-LYMAN LUMBER-CHANHASSEN	18900 W 78th St, Chanhassen, 55317-9343, US	+1 952-470-4800
HOME DEPOT #2841 (SHAKOPEE)	1701 County Road 18, Shakopee, 55379-8119, US	+1 952-496-3076
HOME DEPOT #2825 (CHASKA)	300 Pioneer Trl, Chaska, 55318-1127, US	+1 952-368-0281
Scherer Brothers Lumber Co - Hopkins	330 11th Ave S, Hopkins, 55343-7831, US	+1 952-938-2741
Tamarack Materials Inc. Bloomington (GMS)	9300 James Ave S, Bloomington, 55431-2317, US	+1 952-888-5556
Southern Carlson - Burnsville	12571 Oliver Ave S, Burnsville, 55337-6665, US	+1 651-688-0077
Construction Materials, Inc.	6725 Oxford St, St Louis Park, 55426-4411, US	+1 952-929-0431
HOME DEPOT #2805 (BLOOMINGTON)	400 American Blvd W, Bloomington, 55420-1124, US	+1 952-881-7020
MILLS FLEET FARM - CARVER	1935 Levi Griffin Rd, Carver, 55315-5801, US	
USA Tool Depot	209 E 78th St, Bloomington, 55420-1249, US	+1 877-520-8665
HOME DEPOT #2809 (BURNSVILLE)	155 W Nicollet Blvd, Burnsville, 55337-4575, US	+1 952-898-6960

Please re-enter your ZIP code in the user settings of Deck planner and re publish a report if the results are not desirable.

Legal Disclaimer

Effective Date: March 06, 2026

LEGAL DISCLAIMER

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The App is not designed to perform any of the engineering calculations or structural design required for building construction. Due to the size, shape, location or other considerations, the design set forth in the Report may require supporting structures that are not included in the Report. The App and Report are intended to be used only in conjunction with Simpson Strong-Tie® products. Before beginning any project, you should review all of the information about the Simpson Strong-Tie® products that is available on www.strongtie.com. Any use of the App or the Report is at your own risk.

You should secure professional technical and/or engineering expertise to review and confirm the appropriateness and accuracy of all information in the Report, including, without limitation, all input and output from the App. You should consult with a trained professional to ensure that the products are properly specified for your particular environment (including, without limitation, that the products have the proper level of corrosion resistance based on your particular environmental conditions, materials, construction design and other factors) and to ensure that the products are used in accordance with the design limits and the structural, technical and environmental specifications set forth on www.strongtie.com. The App is not a substitute for professional judgment or for independent design and testing for stress, safety and utility. You are responsible for ensuring that all measurements are correct and for verifying the Report's accuracy, completeness and suitability for your particular site conditions. Before beginning any project, you should confirm that the design set forth in the Report is safe and structurally sound for its size, location and anticipated use. If you have any doubts, concerns or questions, you should consult local experts, builders, architects and structural and soil engineers.

You should consult with local authorities to ensure that your project complies with all applicable zoning and building codes, requirements and practices, which vary greatly depending on your location. You are responsible for ensuring that the project (including the design set forth in the Report and any substitutions or modifications you make) complies with all applicable zoning and building codes, requirements and practices (including requirements for lighting).

Simpson Strong-Tie Company Inc. ("Simpson") cannot anticipate all of your working conditions or the characteristics of your materials and tools. You should seek professional assistance with respect to the construction of the structure. If you are involved in the construction of the project, for your safety you should consider your own skill level and use caution, care and good judgment when following the instructions. Always read and observe instructions and safety precautions provided by any tool or equipment manufacturer, and follow all accepted safety procedures.

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Roof section will not span entire width of structure.



AITKIN COUNTY ENVIRONMENTAL SERVICES PLANNING & ZONING

Aitkin County Government Center
307 2nd Street NW, Room 219
Aitkin, MN 56431

aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

“Aitkin County Shoreland Performance” Worksheet Instructions:

Are you applying for a variance from the Aitkin County Shoreland Management Ordinance? If so, you must complete the “Aitkin County Shoreland Performance” sheet. This is used as an attempt to evaluate your property and project as it relates to the required setbacks and the intent of the Ordinance to protect water quality, habitat and aesthetics. Your project will receive a ranking/score that relates to a “percentage” of compliance with the Department of Natural Resources guidelines and Aitkin County Ordinances.

STEP 1: Determine the level of non-conformance and score by completing 1-5 on the worksheet. The actual setback will be multiplied by the corresponding ‘score multiplier’ to determine your “Pre-mitigation Lot Score”.

STEP 2: Review the mitigation options and circle those that you would be willing to implement as a condition of your variance. See letters A-J.

*As a note, if you will be creating a buffer zone or other landscape project as part of your mitigation plan, please be prepared to present an approved plan to the Board of Adjustment. Although not familiar with specifics of the “Aitkin County Shoreland Performance” worksheet, the Aitkin County Soil & Water Conservation District [SWCD] (218-927-7284) and the University of Minnesota Extension Master Gardeners (218-927-2538) may be resources that would be able to provide you with planting suggestions and landscaping ideas.

STEP 3: A final score is determined by adding your “Pre-mitigation Lot Score” with your “Mitigation Total”. *Please note, the property should obtain a score of 100 or more to meet performance standard requirements.*

After a practical difficulty has been determined, the Board of Adjustment may use the “Aitkin County Shoreland Performance” sheet submitted with your application and/or use their own completed sheet to attempt to mitigate impacts to the water-body and/or adjoining properties.

If you have any questions, please contact Aitkin County Environmental Services – Planning & Zoning at (218) 927-7342.

AITKIN COUNTY SHORELAND PERFORMANCE (Structure Placement Guidance)

A property should obtain a score of 100 or more to meet performance standard requirements. A conforming lot is assigned a score of 100. A lot is deemed conforming when the structure meets the required setbacks to the protected water as specified in the Aitkin County Shoreland Management Ordinance (SMO). A structure that fails to meet this definition is considered non-conforming.

To determine the level of non-conformance and score (See Reference Table):

- 1) Determine the DNR classification of the protected water on the lot (SMO-4.13 & 4.14)..... 1: RDL
- 2) Determine the required "Structure Setback" to that classification of water (SMO 5.2)..... 2: 100
- 3) Determine the "Actual Setback" of the structure by measuring the closest part of the structure to the protected water, bluff, right-of-way, property line, etc. for which a variance is sought 3: 0
- 4) Enter the corresponding 'Score Multiplier' 4: 3.33
- 5) Pre-mitigation 'Lot Score': Determine the percentage of the encroachment as it relates to the standard setback by multiplying the Actual Setback with the 'Score Multiplier' (Note: round to the nearest whole number)..... 5: 0

Reference Table: Performance Multipliers for structures, septic, bluff, and sidelots in Aitkin County.

Protected Waters Type (DNR Classification; SMO 4.13-4.14)	Required Structure Setback	Score Multiplier Structures	Required Septic Setback	Score Multiplier Septic	Score Multiplier Bluff	Score Multiplier Sidelot
General Development Lake	75'	1.333	75'	1.333	(30' setback) 3.33	(10' setback) 10.000
Recreational Development Lake	100'	1.000	75'	1.333		
Natural Environment Lake	150'	0.667	150'	0.667		
Mississippi River	150'	0.667	125'	0.800		
Tributary Stream	100'	1.000	75'	1.333		
Forested Stream	150'	0.667	100'	1.000		
Remote Stream	200'	0.500	150'	0.667		

Mitigation: To bring a non-conforming structure to a score of 100 the landowner conducts and maintains one or more of the below listed mitigating activities:

- A) Zone A(1): Plant and/or maintain a 12.5' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c)..... **15 points**
- Zone A(2): Plant and/or maintain a 25' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c)..... **30 points**
- B) Zone B: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone A landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. **20 points**
- C) Zone C: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone B landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. **10 points**
- D) Construction of rain garden(s) to Wisconsin DNR Manual specifications **20 points**
- E) Removal of all other structures that do not meet the standard building setbacks, including water oriented structures **20 points**
- F) Removal of impervious surfaces to at least half ordinance limits (SMO 5.52.A) **10 points**
- G) Removal of fill all placed in historic wetlands and guarantee of no future wetland fill recorded on deed **10 points**
- H) Re-vegetate bluff or steep slopes* and provide screening of structures from the lake..... **10 points**
- I) Diversion of all water runoff from impervious surfaces away from the lake into retention ponds, subsurface drains, wetlands, etc. with no outlet to the lake or tributary **10 points**
- J) Existing conditions may apply on the property that warrant credit *To be determined by P&Z*

Final Score = Pre-mitigation Lot Score (Line 5) 0 + Mitigation Totals (Lines A-I) 65 = 65

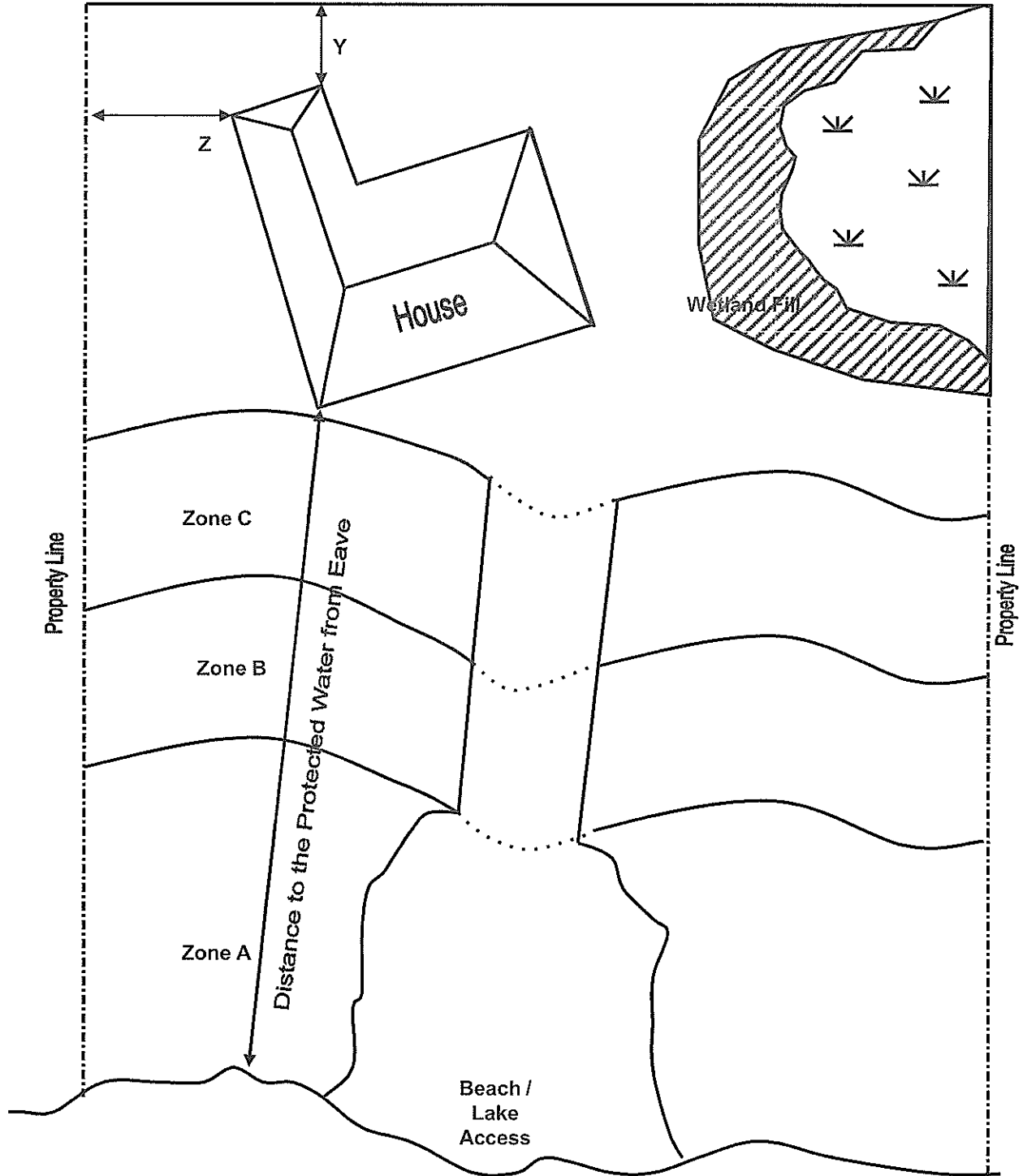
*Note: Plant materials for vegetative buffers shall be native to northern Minnesota. For every 5,000 square feet of buffer area, there shall be a minimum of four types of trees, six types of shrubs, seven forbs, and three grasses planted to achieve a one plant per square foot minimum coverage. Survival of all plants must be guaranteed for a minimum of 5 years

Board of Adjustment Chairperson

Applicant

AITKIN COUNTY SHORELAND PERFORMANCE
(Example)

Road right-of-way (ROW)



Recreational Development Lake (RD)

EROSION CONTROL PLAN CHECKLIST

Check the box if completed (leave empty if not applicable).
All items checked must be included on the site diagram.

Site Characteristics

- North arrow, scale, and site boundary. Indicate and name adjacent streets or roadways.
- Location of existing drainageways, streams, rivers, lakes, wetlands or wells.
- Location of storm sewer inlets.
- Location of existing and proposed buildings and paved areas.
- The disturbed area on the lot.
- Approximate gradient and direction of slopes before grading operations.
- Approximate gradient and direction of slopes after grading operations.
- Overland runoff (sheet flow) coming onto the site from adjacent areas.

Erosion Control Practices

- Location of temporary soil storage piles.
Note: Soil storage piles should be placed behind a sediment fence, a 10 foot wide vegetative strip, or should be covered with a tarp or more than 25 feet from any downslope road or drainageway.
- Location of access drive(s) (driveways, turnarounds, approaches, etc.)
- Location of sediment controls (filter fabric fence, straw bale fence or 10-foot wide vegetative strip) that will prevent eroded soil from leaving the site.
- Location of sediment barriers around on-site storm sewer inlets.
- Location of diversions.
Note: Although not specifically required by code, it is recommended that concentrated flow (drainageways) be diverted (re-directed) around disturbed areas. Overland runoff (sheet flow) from adjacent areas greater than 10,000 sq. ft. should also be diverted around disturbed areas.
- Location of practices that will be applied to control erosion on steep slopes (greater than 12% grade).
Note: Such practices include maintaining existing vegetation, placement of additional sediment fences, diversions, and re-vegetation by sodding or seeding with use of erosion control mats.
- Location of practices that will control erosion on areas of concentrated runoff flow.
Note: Unstabilized drainageways, ditches, diversions, and inlets should be protected from erosion through use of such practices as in-channel fabric or straw bale barriers, erosion control mats, staked sod, and rock rip-rap. When used, a given in-channel barrier should not receive drainage from more than two acres of unpaved area, or one acre of paved area. In-channel practices should not be installed in perennial streams (streams with year round flow).
- Location of other planned practices not already noted.

Check the box if completed (leave empty if not applicable).
All items checked must be included on the site diagram.

Management Strategies

- Temporary stabilization of disturbed areas.
Note: It is recommended that disturbed areas and soil piles left inactive for extended periods of time be stabilized by seeding (between April 1 and September 15), or by other cover, such as tarping or mulching.
- Permanent stabilization of site by re-vegetation or other means as soon as possible (lawn establishment).
- Indicate re-vegetation method: (Circle one of the following) Seed Sod
Other _____
 - Expected date of permanent re-vegetation: _____
 - Re-vegetation responsibility of: (Circle one of the following)
Builder Owner/Buyer
 - Is temporary seeding or mulching planned if site is not seeded by Sept. 15 or sodded by Nov. 15? (Circle one of the following) Yes No
- Use of downspout and/or sump pump outlet extensions.
Note: It is recommended that flow from downspouts and sump pump outlets be routed through plastic drainage pipe to stable areas such as established sod or pavement.
- Trapping sediment during de-watering operations.
Note: Sediment-laden discharge water from pumping operations should be ponded behind a sediment barrier until most of the sediment settles out.
- Proper disposal of building material waste so that pollutants and debris are not carried off-site by wind or water.
- Maintenance of erosion control practices.
- Sediment will be removed from behind sediment fences and barriers before it reaches a depth that is equal to half the height of the barrier.
 - Breaks and gaps in sediment fences and barriers will be repaired immediately. Decomposing straw bales will be replaced (typical bale life is three months).
 - All sediment that moves off-site due to construction activity will be cleaned up before the end of the same workday.
 - All sediment that moves off-site due to storm events will be cleaned up before the end of the next workday.
 - Access drives will be maintained throughout construction.
 - All installed erosion control practices will be maintained until the disturbed areas they protect are stabilized.

PART VII: STANDARD EROSION CONTROL PLAN

According to Aitkin County's Shoreland Management Ordinance, soil erosion control information needs to be included on the site plan which is submitted and approved prior to the issuance of zoning permits. The Standard Erosion Control Plan is provided to assist in meeting this requirement.

Instructions:

1. Complete this plan by filling in requested information, completing the site diagram and marking appropriate boxes on the inside of this form.
2. In completing the site diagram, give consideration to potential erosion that may occur before, during and after grading. Water runoff patterns can change significantly as a site is reshaped.
3. A cross section sheet is required for walkout basements and excavations into hillsides for determining volume of fill to be excavated.

Project Location 33595 45th Place Parcel # 07-0-012002

Builder N/A Owner Marcus and Amy Frana

Worksheet Completed By Marcus Frana Date 3/11/26

Amount of earthen material to be excavated and/or used for fill 0 cubic yards.

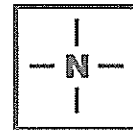
SITE DIAGRAM

Scale 1 inch = _____ feet

Please indicate north by completing the arrow.

The proposed deck will be supported using helical screws rather than traditional excavated concrete footings. Using this method eliminates the need for excavation and minimizes soil disturbance. These are also installed with small hydraulic equipment which furthermore reduces soil disturbance.

No other soil to be disturbed.



EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- > EXISTING DRAINAGE
- > TD TEMPORARY DIVERSION
- > FINISHED DRAINAGE
- LIMITS OF GRADING
- > SILT FENCE
- > STRAW BALES
- GRAVEL
- VEGETATION SPECIFICATION
- TREE PRESERVATION
- STOCKPILED SOIL

CRV Filed
No Delinquent Taxes and Transfer Entered
Kirk Peysar, County Auditor
State Deed Tax Paid
Lori Grams, County Treasurer

Doc No: **A484345**
Certified Filed and/or Recorded on
10/23/2024 12:30 PM

WAD 1/2
REC FEE \$46.00
SDT \$907.50
eCRV # 1703155

Office of the County Recorder
Aitkin County, Minnesota
Tara Snyder, County Recorder

Package: **92404** Mary

24-0452

(Top 3 inches reserved for recording data)

WARRANTY DEED
Individual(s) to Individual(s)

Minnesota Uniform Conveyancing Blanks
Form 10.1.1 (2018)

e-CRV No.: 1703155

DEED TAX DUE: \$907.50

DATE: October 16, 2024

FOR VALUABLE CONSIDERATION, James P. Bowe and Cheryl L. Bowe, spouses
married to each other ("Grantor"),

hereby convey(s) and warrant(s) to Marcus E. Frana and Amy E. Frana ("Grantee"), as

(Check only one box)

- tenants in common,
 joint tenants,

(if more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)

real property in Aitkin County, Minnesota, legally described as follows:

→ See **EXHIBIT A** attached hereto for legal description.

Check here if all or part of the described real property is Registered (Torrens)


together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:

reservations, restrictions and easements of record, if any.

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____).
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor



 James P. Bowe



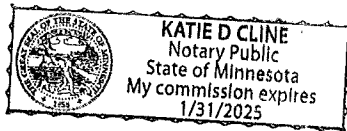
 Cheryl L. Bowe


State of Minnesota, County of Aitkin

This instrument was acknowledged before me on October 10, 2024,

by James P. Bowe and Cheryl L. Bowe, spouses married to each other.

(Stamp)





 (signature of notarial officer)

Title (and Rank): Notary Public

My commission expires: 1-31-25
 (month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:

Aitkin County Abstract Company
 112 3rd Street NW
 Aitkin, MN 56431
 File No. 24-1231

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:

Marcus E. Frana and Amy E. Frana
 9056 McBuffery Rd.
 Eden Prairie, MN 55347

EXHIBIT A

File No.: 24-0452



That part of Government Lot 6, Section 6, Township 46 North, Range 27 West, Aitkin County, Minnesota, described as follows:

Commencing at the Southwest corner of TRACT H, REGISTERED LAND SURVEY NUMBER 2; thence North 89 degrees 13 minutes 38 seconds West on an assigned bearing along the westerly extension of the southerly line of said TRACT H, REGISTERED LAND SURVEY NUMBER 2, a distance of 331.78 feet; thence North 03 degrees 18 minutes 14 seconds West a distance of 317.49 feet; thence North 08 degrees 09 minutes 01 seconds East a distance of 68.25 feet to the intersection with the south line of the North 504.53 feet of said Government Lot 6; thence North 89 degrees 58 minutes 44 seconds West, along said south line, a distance of 33.34 feet to the intersection with the westerly right of way line of 485th Place, the point of beginning; thence North 08 degrees 09 minutes 01 seconds East, along said westerly right of way line, a distance of 180.47 feet; thence North 06 degrees 20 minutes 44 seconds West, along said westerly right of way line, a distance of 21.48 feet to the intersection with the south line of the North 304.53 feet of said Government Lot 6; thence North 89 degrees 58 minutes 44 seconds West, along said south line, a distance of 265 feet, more or less, to the easterly shoreline of Cedar Lake; thence southerly along said shoreline to the intersection with the south line of the North 504.53 feet of said Government Lot 6; thence South 89 degrees 58 minutes 44 seconds East, along said south line, a distance of 177 feet, more or less, to the point of beginning.

Abstract Property

Property Location

Property:	Property Location								Property Attributes	
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	14-1-071000	27819 438th Ln PALISADE, MN 56469	JEVNE TWP	SALAVA, KRISTEN & FRANK AND	SALAVA, KRISTEN & FRANK AND	LOT 8	FELKNORS TOWNLINE SHORES	S:18 T:48 R:24	NE	TOWNLINE LAKE (JEVNE TWP)
Driving directions to the proposed project from Aitkin:	The property is located at 27819 438th lane lake side road Palisade mn									
Is the above parcel located in the Shoreland Zoning District?	<u>No</u>									

Detailed Narrative

<p>Enter a Detailed Narrative (If you have a prepared narrative please state "See attached" and attach the document below):</p>	<p>We would like to use the existing garage which is 20' x 24' and convert it into a 3-season guest cabin. The existing garage is located 22' from the southeast corner of the road as traveled on the right side. The left side of the garage is located 28' feet from the southwest corner of the road as traveled.</p>
<p>Attach prepared narrative here:</p>	<div style="border: 1px dashed black; padding: 5px;"> <p>File 1: Land_Survey.pdf</p> <p>File 2: Revised_Lake_survey.pdf</p> </div>
<p>Provide the Ordinance(s) and the Section(s) of the Ordinance(s) from which you are requesting a variance:</p>	<p>The existing garage does not meet the setback requirements of 30' from the road as traveled.</p>

Supplemental Data

<p>Attach completed form here:</p>	<div style="border: 1px dashed black; padding: 5px;"> <p>File 1: Lake_Lot_supplemental_data.pdf</p> </div>
------------------------------------	--

A Scaled Drawing or Survey

<p>Scaled Drawing or Survey Checklist:</p>	<p><u>Location and dimensions of all existing and proposed septic system components (septic tank, septic drainfield).</u></p>
<p>Attach a Scaled Drawing or Survey:</p>	<div style="border: 1px dashed black; padding: 5px;"> <p>File 1: Lake_Lot_Shed_Location_for_27819_438th_Lane.pdf</p> </div>

Side Profile Sketch of the Structure

Attach a side profile sketch of your proposed structure or addition here (if applicable):

File 1: [Revised_Lake_survey.pdf](#)

Certificate of Septic Compliance

Attach a copy of one of the following, if applicable:
- A current compliance inspection on an existing septic system.
- A design for a new/replacement septic system.

File 1: [Septic_Certificate.docx](#)
File 2: [Septic_comp.docx](#)

Shoreland Performance Worksheet

Complete the Shoreland Performance Worksheet and attach here:

File 1: [Lake_Lot_Shoreland_Performance_Document.pdf](#)

Standard Erosion Control Plan

Attach the completed Standard Erosion Control Plan here:

File 1: [Lake_Lot_Erosion_Control_Document.pdf](#)

Property Deed

Attach the property deed:	File 1: SALAVA_DEED.pdf
---------------------------	---

Other

Attach "Other" information (if necessary):	File 1: Revised_Lake_survey.pdf
Other Information (if necessary):	We will be using the existing garage located on the north side of 438LN and converting it into a guest cabin

Terms**General Terms**

<p>The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.</p>
<p>Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.</p>
<p>I acknowledge that by submitting this application, the application and its attachments are public information.</p>

Invoice #71020 (04/09/2026) Expected Payment Method: Pay Online - Card or ECheck

Charge	Cost	Quantity	Total
Recording Fee added 04/03/2026 2:48 PM (Nonrefundable)	\$46.00	x 1	\$46.00
Variance added 04/03/2026 2:48 PM (Nonrefundable)	\$650.00	x 1	\$650.00
Grand Total			
			Total
			\$696.00
			Payment 04/09/2026
			\$696.00
			Due
			\$0.00

Results ([Go to top](#))
 Signature accepted
 Failed to send [Variance Ready for Action](#) notification to:

Approvals

Approval	Signature
Applicant	Frank J. Salava - 04/09/2026 3:29 PM 8d85b5de916e214f3b1e5c1d431e59d8 53a57a446133269b57dd6824f289c051
#1 Administrative Review	Kim Burton - 04/14/2026 12:39 PM b6615fcc849b6114dbaae172a1cbc720 9b1c5fd580e06664e22442bc3cd9d96d
#2 Board of Adjustment Approval	

Public Notes

Text:	<div style="border: 1px solid black; height: 300px;"></div>
File(s):	<div style="border: 1px dashed black; height: 30px;"></div>

Admin Checklist

This review has been started by:	Kim Burton ▼
Zoning District of project location:	Shoreland ▼
Project located in the floodplain?	No ▼
Is the parcel a Lot of Record before 1-21-92 or have alternate sites been identified?	Yes ▼
Is this an after-the-fact application?	No ▼

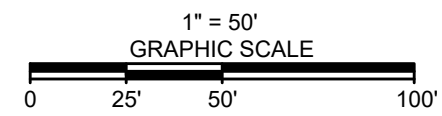
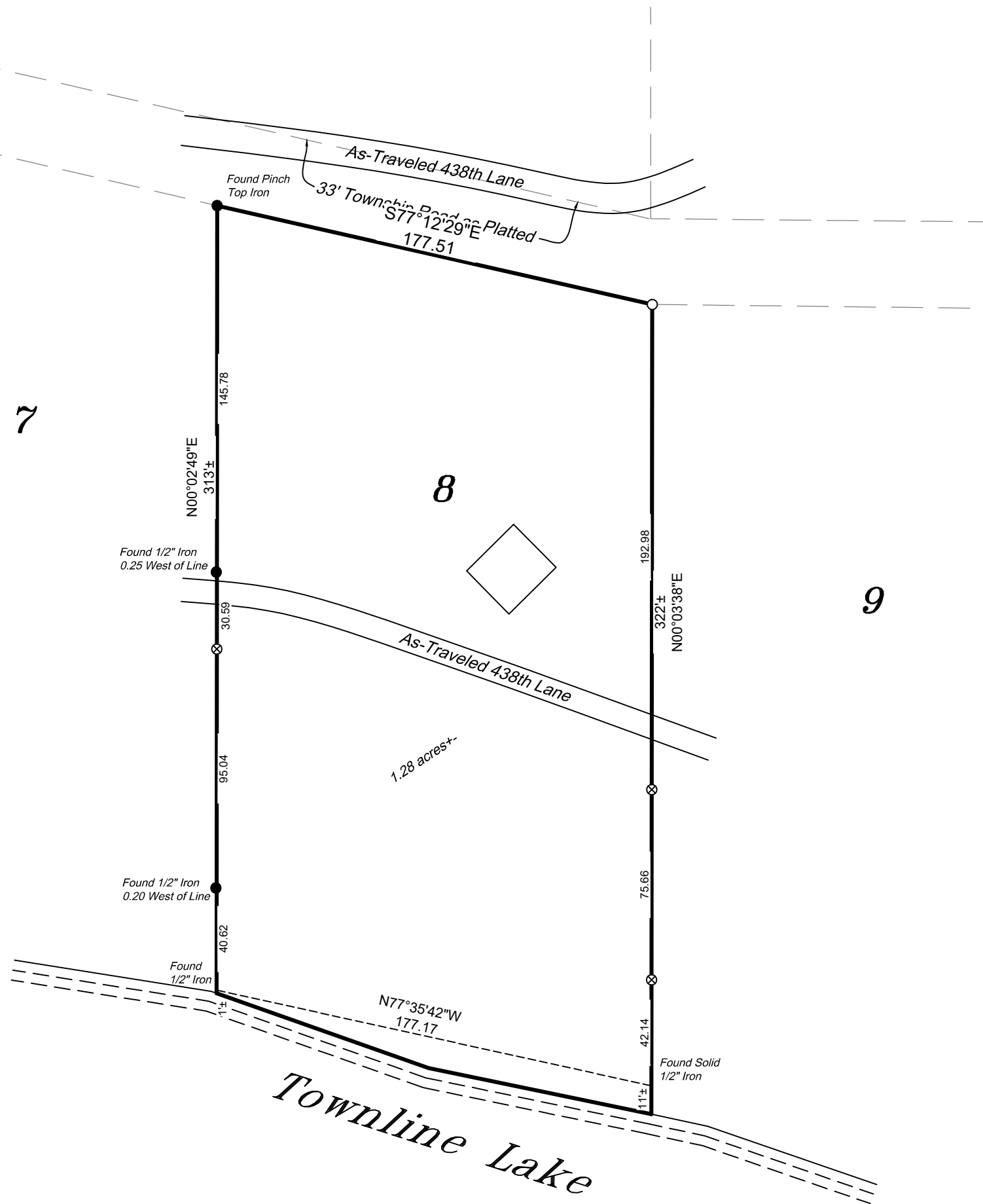
Numbers

	Current Number	Next from Sequence
UID #	222122	<i>not applicable</i>
App. #	<input type="text" value="2026-000139"/>	<input type="button" value="««"/> 2026-000150
Permit #	<input type="text"/>	<input type="button" value="««"/> 2026-0107

Print View

CERTIFICATE OF SURVEY

LOT 8, FELKNORS TOWNLINE SHORES, AITKIN COUNTY, MINNESOTA.



- FOUND MONUMENT
- SET CAPPED IRON #57070
- ⊗ SET REBAR

SURVEYORS CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

KALEB J. KADELBACH (LICENSE NO. 57070)

4/15/2025
 DATE

SURVEYOR NOTES:

1. APEX LAND SURVEYING, LLC PREPARED THIS SURVEY WITHOUT THE BENEFIT OF CURRENT TITLE WORK. THE PROPERTY SHOWN IS BASED ON A LEGAL DESCRIPTION PROVIDED BY YOU THE CLIENT OR A GENERAL REQUEST AT THE APPROPRIATE COUNTY RECORDER'S OFFICE. EASEMENT, SITE RESTRICTION OR ADJOIN DEED CONFLICTS MAY EXIST WHICH AFFECT SUBJECT PROPERTY AND ARE NOT SHOWN BY THIS SURVEY. WE RESERVE THE RIGHT TO REVISE THE SURVEY UPON RECEIPT OF A CURRENT TITLE COMMITMENT OR TITLE OPINION.

CLIENT INFORMATION:
 Janice Elledge
 27945 438th Lane
 Palisade, MN 56469

FIELD DATE: 11/18/24
 APEX JOB NO. 24242

kaleb.kadelbach@apex-landsurveying.com P: (763) 566-5533

PART I: SUPPLEMENTAL DATA TO VARIANCE APPLICATION

Aitkin County Environmental Services
307 Second St. NW, Room 219, Aitkin, MN 56431
Phone: 218.927.7342 Fax: 218.927.4372
www.co.aitkin.mn.us

Note: Place an "X" by each item below that applies to your variance request. Then, fill out **only** the applicable following section(s) that apply, as directed. **If a section does not apply to your request, leave it blank.**

What is the reason(s) for applying for the variance? Place an "X" by each applicable item.

- Setback issues for a proposed new structure: **Complete Section 1**
- Setback issues for an alteration to an existing nonconforming structure: **Complete Section 2**
- Setback issues for a septic system: **Complete Section 3**
- Land alteration: **Complete Section 4**
- Creating a lot not in conformance with the minimum Ordinance standards: **Complete Section 5**
- Other: attach separate sheet explaining variance request

Section 1 – New Structure(s)

Check all that apply and fill in requested information:

- Basement
 - Crawlspace
 - Walk-out Basement
 - One Story Level
 - Story-and-a-Half Level
 - 2nd Story Level
- Proposed # of Bedrooms _____ Proposed Structure Height _____ ft.

Existing Total Building Coverage _____% Proposed Total Building Coverage _____%

Existing Total Impervious Surface Coverage _____% Proposed Total Impervious Surface Coverage _____%

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Structure Type (indicate with or without living quarters) _____

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
_____ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 2 – Alteration(s) to Existing Nonconforming Structure(s)

Check all that apply and fill in requested information:

Existing Structure

Basement
 Crawlspace
 Walk-out Basement
 One Story Level
 Story-and-a-Half Level
 2nd Story Level

Proposed Addition(s)

Basement
 Crawlspace
 Walk-out Basement
 One Story Level
 Story-and-a-Half Level
 2nd Story Level

Existing Structure Height <u>10</u> ft.	Proposed Addition(s) Height <u>0</u> ft.
Existing # of Bedrooms <u>0</u>	Final # of bedrooms after remodel <u>2</u>
Existing Building Coverage _____%	Proposed Building Coverage _____%
Existing Total Impervious Surface Coverage _____%	Proposed Total Impervious Surface Coverage _____%

“Building Coverage” means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to’s, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

“Impervious surface coverage” means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

The existing garage is around 480 SF. ITS existing size is 20X24 and is 22 feet away from the road as traveled on the South East corner and 28 feet away on the South West corner as traveled.

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Alteration Type Turn existing garage into a guest cabin

<input type="checkbox"/> Ordinary High Water Level (OHWL)	Existing Setback _____ ft.	Proposed Setback _____ ft.
<input type="checkbox"/> Property Line	Existing Setback _____ ft.	Proposed Setback _____ ft.
<input checked="" type="checkbox"/> Road Right-of way __ Twp __ Co. __ State	Existing Setback <u>22</u> ft.	Proposed Setback <u>NO CHANGE</u> ft.
<input type="checkbox"/> Bluff	Existing Setback _____ ft.	Proposed Setback _____ ft.
<input type="checkbox"/> Other: _____	Existing Setback _____ ft.	Proposed Setback _____ ft.

Section 3 – Septic System

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance.

<input type="checkbox"/> Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
<input type="checkbox"/> Property Line	Proposed Setback _____ ft.
<input type="checkbox"/> Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
<input type="checkbox"/> Bluff	Proposed Setback _____ ft.
<input type="checkbox"/> Other: _____	Proposed Setback _____ ft.

Section 4 – Land Alteration

What is your land alteration? Check all categories that apply and indicate the total amount of excavation or placement of fill.

<input type="checkbox"/> More than 10 cubic yards on steep slopes and shore and bluff impact zones.	Total Cubic Yds. _____
<input type="checkbox"/> Other: _____	Total Cubic Yds. _____

Section 5 – Creating Nonconforming Lot(s)

Check the item(s) from which you are requesting a variance and fill in the proposed dimensions.

<input type="checkbox"/> Property Width	Proposed Property Width _____
<input type="checkbox"/> Property Area	Proposed Property Area _____
<input type="checkbox"/> (2) Standard Septic Sites	
<input type="checkbox"/> Legal Access	

As-Traveled 438th Lane

N

Found Finch
Top Iron

33' Township Road as Platted
S77°12'29"E
177.51

Drain Field

8
New Shed

Existing Garage

Septic

Existing Septic

As-Traveled 438th Lane

1.29 acres ±

N00°02'49"E

313.1

Found 1/2" Iron
0.25 West of Line

30.59

95.04

Found 1/2" Iron
0.20 West of Line

40.62

Found 1/2" Iron

N77°35'42"W
177.17

Town Line
LAKE

Town

182.98

322.1

N00°03'38"E

75.66

42.14

Found Solid
1/2" Iron

E

W



AITKIN COUNTY ENVIRONMENTAL SERVICES PLANNING & ZONING

Aitkin County Government Center
307 2nd Street NW, Room 219
Aitkin, MN 56431

aitkinpz@aitkincountymn.gov
Phone: 218-927-7342
Fax: 218-927-4372

“Aitkin County Shoreland Performance” Worksheet

Instructions:

Are you applying for a variance from the Aitkin County Shoreland Management Ordinance? If so, you must complete the “Aitkin County Shoreland Performance” sheet. This is used as an attempt to evaluate your property and project as it relates to the required setbacks and the intent of the Ordinance to protect water quality, habitat and aesthetics. Your project will receive a ranking/score that relates to a “percentage” of compliance with the Department of Natural Resources guidelines and Aitkin County Ordinances.

STEP 1: Determine the level of non-conformance and score by completing 1-5 on the worksheet. The actual setback will be multiplied by the corresponding ‘score multiplier’ to determine your “Pre-mitigation Lot Score”.

STEP 2: Review the mitigation options and circle those that you would be willing to implement as a condition of your variance. See letters A-J.

*As a note, if you will be creating a buffer zone or other landscape project as part of your mitigation plan, please be prepared to present an approved plan to the Board of Adjustment. Although not familiar with specifics of the “Aitkin County Shoreland Performance” worksheet, the Aitkin County Soil & Water Conservation District [SWCD] (218-927-7284) and the University of Minnesota Extension Master Gardeners (218-927-2538) may be resources that would be able to provide you with planting suggestions and landscaping ideas.

STEP 3: A final score is determined by adding your “Pre-mitigation Lot Score” with your “Mitigation Total”. *Please note, the property should obtain a score of 100 or more to meet performance standard requirements.*

After a practical difficulty has been determined, the Board of Adjustment may use the “Aitkin County Shoreland Performance” sheet submitted with your application and/or use their own completed sheet to attempt to mitigate impacts to the water-body and/or adjoining properties.

If you have any questions, please contact Aitkin County Environmental Services – Planning & Zoning at (218) 927-7342.

AITKIN COUNTY SHORELAND PERFORMANCE

(Structure Placement Guidance)

A property should obtain a score of 100 or more to meet performance standard requirements. A conforming lot is assigned a score of 100. A lot is deemed conforming when the structure meets the required setbacks to the protected water as specified in the Aitkin County Shoreland Management Ordinance (SMO). A structure that fails to meet this definition is considered non-conforming.

To determine the level of non-conformance and score (See Reference Table):

- 1) Determine the DNR classification of the protected water on the lot (SMO-4.13 & 4.14)..... 1: _____
- 2) Determine the required "Structure Setback" to that classification of water (SMO 5.2)..... 2: _____
- 3) Determine the "Actual Setback" of the structure by measuring the closest part of the structure to the protected water, bluff, right-of-way, property line, etc. for which a variance is sought 3: _____
- 4) Enter the corresponding 'Score Multiplier' 4: _____
- 5) Pre-mitigation 'Lot Score': Determine the percentage of the encroachment as it relates to the standard setback by multiplying the Actual Setback with the 'Score Multiplier' (Note: round to the nearest whole number)..... 5: _____

Reference Table: Performance Multipliers for structures, septics, bluff, and sidelots in Aitkin County.

Protected Waters Type (DNR Classification; SMO 4.13-4.14)	Required Structure Setback	Score Multiplier Structures	Required Septic Setback	Score Multiplier Septic	Score Multiplier Bluff	Score Multiplier Sidelot
General Development Lake	75'	1.333	75'	1.333	3.33	10.000
Recreational Development Lake	100'	1.000	75'	1.333		
Natural Environment Lake	150'	0.667	150'	0.667		
Mississippi River	150'	0.667	125'	0.800		
Tributary Stream	100'	1.000	75'	1.333		
Forested Stream	150'	0.667	100'	1.000		
Remote Stream	200'	0.500	150'	0.667		

Mitigation: To bring a non-conforming structure to a score of 100 the landowner conducts and maintains one or more of the below listed mitigating activities:

- A) Zone A(1): Plant and/or maintain a 12.5' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c)..... **15 points**
- Zone A(2): Plant and/or maintain a 25' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c)..... **30 points**
- B) Zone B: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone A landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. **20 points**
- C) Zone C: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone B landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. **10 points**
- D) Construction of rain garden(s) to Wisconsin DNR Manual specifications **20 points**
- E) Removal of all other structures that do not meet the standard building setbacks, including water oriented structures **20 points**
- F) Removal of impervious surfaces to at least half ordinance limits (SMO 5.52.A) **10 points**
- G) Removal of fill all placed in historic wetlands and guarantee of no future wetland fill recorded on deed **10 points**
- H) Re-vegetate bluff or steep slopes* and provide screening of structures from the lake **10 points**
- I) Diversion of all water runoff from impervious surfaces away from the lake into retention ponds, subsurface drains, wetlands, etc. with no outlet to the lake or tributary **10 points**
- J) Existing conditions may apply on the property that warrant credit *To be determined by P&Z*

Final Score = Pre-mitigation Lot Score (Line 5) _____ + Mitigation Totals (Lines A-I) _____ = _____

**Note: Plant materials for vegetative buffers shall be native to northern Minnesota. For every 5,000 square feet of buffer area, there shall be a minimum of four types of trees, six types of shrubs, seven forbs, and three grasses planted to achieve a one plant per square foot minimum coverage. Survival of all plants must be guaranteed for a minimum of 5 years*

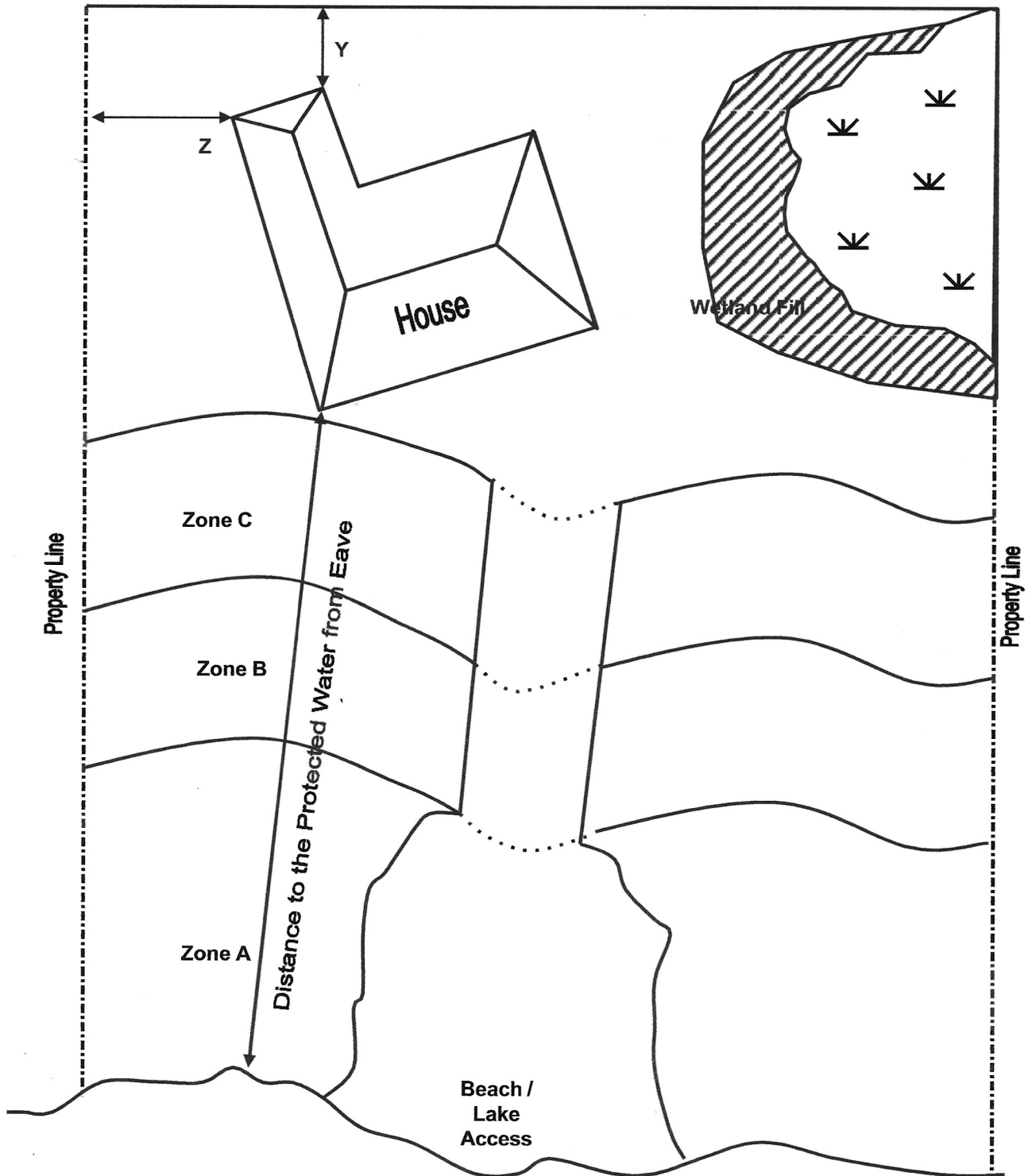
Board of Adjustment Chairperson

Salava

Applicant

AITKIN COUNTY SHORELAND PERFORMANCE
(Example)

Road right-of-way (ROW)

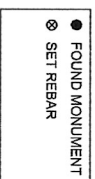
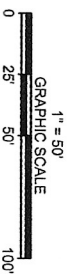
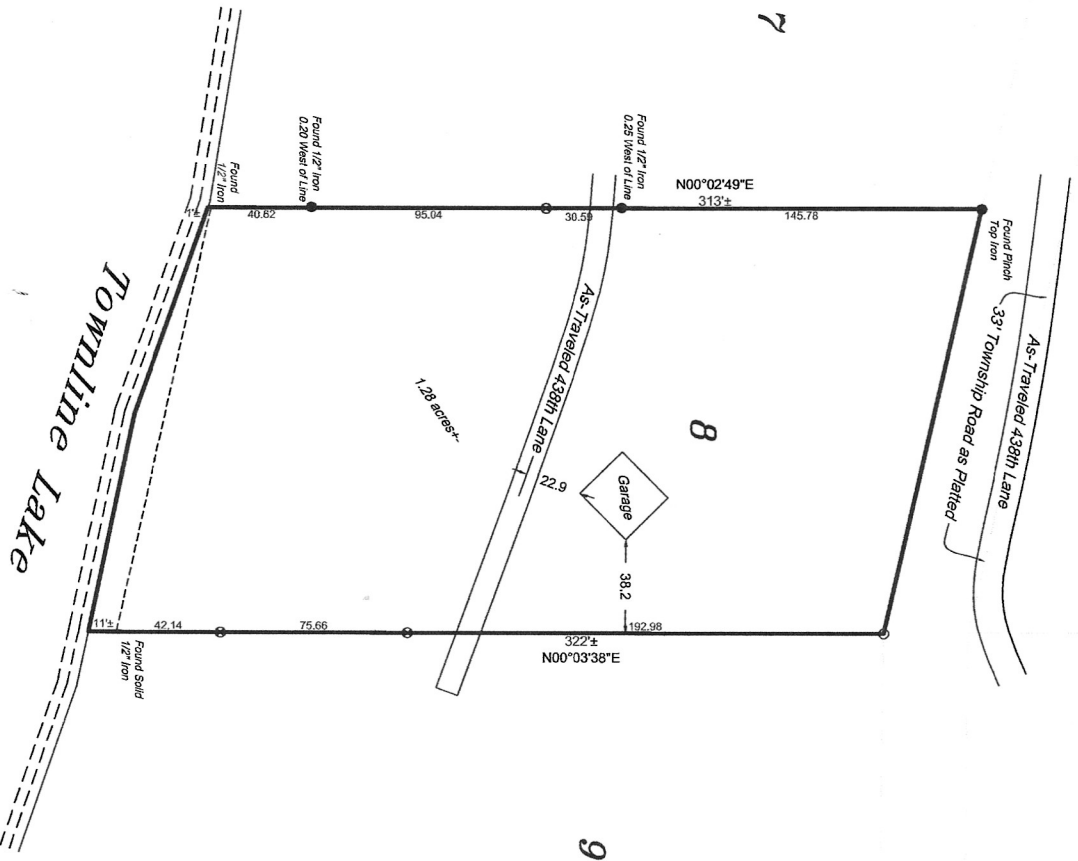


Recreational Development Lake (RD)

The existing Garage is across the road from the lake
app. 174 feet away from the lake on the North side of
438th lane

CERTIFICATE OF SURVEY

LOT 8, PEKNORS TOWNLINE SHORES, AITKIN COUNTY, MINNESOTA.



SURVEYORS CERTIFICATION:
 I HEREBY CERTIFY THAT THIS SURVEY PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

KALEB J. KADELBACH (LICENSE NO. 57070) _____
 DATE 4/2/2026

SURVEYOR NOTES:
 1. APEX LAND SURVEYING, LLC PREPARED THIS SURVEY WITHOUT THE BENEFIT OF CURRENT TITLE WORK. THE PROPERTY SHOWN IS BASED ON A LEGAL DESCRIPTION PROVIDED BY YOU THE CLIENT OR A GENERAL REQUEST AT THE APPROPRIATE COUNTY RECORDER'S OFFICE. EASEMENT, SITE RESTRICTION OR ADJOINING DEED CONFLICTS MAY EXIST WHICH AFFECT SUBJECT PROPERTY AND ARE NOT SHOWN BY THIS SURVEY. WE RESERVE THE RIGHT TO REVISE THE SURVEY UPON RECEIPT OF A CURRENT TITLE COMMITMENT OR TITLE OPINION.

REVISED: 04/07/25 TO CHANGE CLIENT AND ADD BUILDING TIES.

<p>CLIENT INFORMATION: Frank Salave 27819 438th Lane Pillsbury, MN 55469</p>	<p>APEX LAND SURVEYING</p> <p style="font-size: small;">KALEB.KADELBACH@APEX-LANDSURVEYING.COM TEL: (651) 360-0200</p>
<p>FIELD DATE: 11/18/24 APEX JOB NO. 24242</p>	

EROSION CONTROL PLAN CHECKLIST

**Check the box if completed (leave empty if not applicable).
All items checked must be included on the site diagram.**

Site Characteristics

- North arrow, scale, and site boundary. Indicate and name adjacent streets or roadways.
- Location of existing drainageways, streams, rivers, lakes, wetlands or wells.
- Location of storm sewer inlets.
- Location of existing and proposed buildings and paved areas.
- The disturbed area on the lot.
- Approximate gradient and direction of slopes before grading operations.
- Approximate gradient and direction of slopes after grading operations.
- Overland runoff (sheet flow) coming onto the site from adjacent areas.

Erosion Control Practices

- Location of temporary soil storage piles.
Note: Soil storage piles should be placed behind a sediment fence, a 10 foot wide vegetative strip, or should be covered with a tarp or more than 25 feet from any downslope road or drainageway.
- Location of access drive(s) (driveways, turnarounds, approaches, etc.)
- Location of sediment controls (filter fabric fence, straw bale fence or 10-foot wide vegetative strip) that will prevent eroded soil from leaving the site.
- Location of sediment barriers around on-site storm sewer inlets.
- Location of diversions.
Note: Although not specifically required by code, it is recommended that concentrated flow (drainageways) be diverted (re-directed) around disturbed areas. Overland runoff (sheet flow) from adjacent areas greater than 10,000 sq. ft. should also be diverted around disturbed areas.
- Location of practices that will be applied to control erosion on steep slopes (greater than 12% grade).
Note: Such practices include maintaining existing vegetation, placement of additional sediment fences, diversions, and re-vegetation by sodding or seeding with use of erosion control mats.
- Location of practices that will control erosion on areas of concentrated runoff flow.
Note: Unstabilized drainageways, ditches, diversions, and inlets should be protected from erosion through use of such practices as in-channel fabric or straw bale barriers, erosion control mats, staked sod, and rock rip-rap. When used, a given in-channel barrier should not receive drainage from more than two acres of unpaved area, or one acre of paved area. In-channel practices should not be installed in perennial streams (streams with year round flow).
- Location of other planned practices not already noted.

**Check the box if completed (leave empty if not applicable).
All items checked must be included on the site diagram.**

Management Strategies

- Temporary stabilization of disturbed areas.
Note: It is recommended that disturbed areas and soil piles left inactive for extended periods of time be stabilized by seeding (between April 1 and September 15), or by other cover, such as tarping or mulching.

- Permanent stabilization of site by re-vegetation or other means as soon as possible (lawn establishment).
 - Indicate re-vegetation method: (Circle one of the following) Seed Sod
Other _____
 - Expected date of permanent re-vegetation: _____
 - Re-vegetation responsibility of: (Circle one of the following)
Builder Owner/Buyer
 - Is temporary seeding or mulching planned if site is not seeded by Sept. 15 or sodded by Nov. 15? (Circle one of the following) Yes No

- Use of downspout and/or sump pump outlet extensions.
Note: It is recommended that flow from downspouts and sump pump outlets be routed through plastic drainage pipe to stable areas such as established sod or pavement.

- Trapping sediment during de-watering operations.
Note: Sediment-laden discharge water from pumping operations should be ponded behind a sediment barrier until most of the sediment settles out.

- Proper disposal of building material waste so that pollutants and debris are not carried off-site by wind or water.

- Maintenance of erosion control practices.
 - Sediment will be removed from behind sediment fences and barriers before it reaches a depth that is equal to half the height of the barrier.
 - Breaks and gaps in sediment fences and barriers will be repaired immediately. Decomposing straw bales will be replaced (typical bale life is three months).
 - All sediment that moves off-site due to construction activity will be cleaned up before the end of the same workday.
 - All sediment that moves off-site due to storm events will be cleaned up before the end of the next workday.
 - Access drives will be maintained throughout construction.
 - All installed erosion control practices will be maintained until the disturbed areas they protect are stabilized.

PART VII: STANDARD EROSION CONTROL PLAN

According to Aitkin County's Shoreland Management Ordinance, soil erosion control information needs to be included on the site plan which is submitted and approved prior to the issuance of zoning permits. The Standard Erosion Control Plan is provided to assist in meeting this requirement.

Instructions:

1. Complete this plan by filling in requested information, completing the site diagram and marking appropriate boxes on the inside of this form.
2. In completing the site diagram, give consideration to potential erosion that may occur before, during and after grading. Water runoff patterns can change significantly as a site is reshaped.
3. A cross section sheet is required for walkout basements and excavations into hillsides for determining volume of fill to be excavated.

Project Location 27819 438TH Lane Palisade MN 56469

Builder OWNER Owner Kristen Salava Frank Salava Earl Carlson

Worksheet Completed By OWNER Date 4-9-26

Amount of earthen material to be excavated and/or used for fill 0 cubic yards.

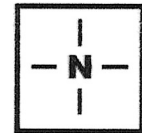
SITE DIAGRAM

Scale 1 inch = _____ feet

Please indicate north by completing the arrow.

*see attached drawing of Plat
location of existing garage*

*The existing garage is app. 174'
away from the lake on the north
side of 438TH Lane Palisade MN*



EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- EXISTING DRAINAGE
- TD TEMPORARY DIVERSION
- FINISHED DRAINAGE
- LIMITS OF GRADING
- SILT FENCE
- STRAW BALES
- GRAVEL
- VEGETATION SPECIFICATION
- TREE PRESERVATION
- STOCKPILED SOIL

CRV Filed
No Delinquent Taxes and Transfer Entered
Kathleen Ryan, County Auditor
State Deed Tax Paid
Lori Grams, County Treasurer

Doc No: **A488264**
Certified Filed and/or Recorded on
7/22/2025 12:36 PM
Office of the County Recorder
Aitkin County, Minnesota
Tara Snyder, County Recorder

WAD 1/1
REC FEE \$46.00
SDT \$552.75
eCRV # 1785090
WC RCVD \$54.00
WC # 1090788

Package: 97463 Terri

(Top 3 inches reserved for recording data)

WARRANTY DEED
Individual(s) to Individual

Minnesota Uniform Conveyancing Blanks
Form 10.1.1 (2016)

eCRV number: 1785090

DEED TAX DUE: \$ 552.75

DATE: 07/21/2025
(month/day/year)

FOR VALUABLE CONSIDERATION, Janice E Elledge and Timothy R Elledge, A Married Couple ("Grantor), hereby conveys and warrants to Kristen Salava and Frank Salava and Earl Carlson ("Grantee"), as

(Check only one box.)

- tenants in common,
 joint tenants

(If more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)

real property in Aitkin County, Minnesota, legally described as follows:

→ Lot Eight (8) of "Folkner's Townline Shores" according to the plat thereof on file and of record in the office of the Register of Deeds in and for the County of Aitkin, State of Minnesota.

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto.

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: 1090788.)
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor

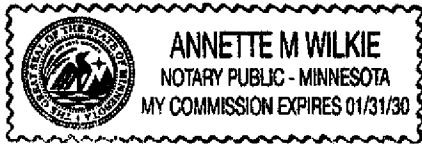
Janice E. Elledge
Janice E Elledge

Timothy R Elledge
Timothy R Elledge

State of Minnesota, County of Anthon

This instrument was acknowledged before me on July 15, 2025 by Janice E Elledge and Timothy R Elledge, A Married Couple.

(Stamp)



Annette M. Wilkie
(signature of notarial officer)

Title (and Rank): _____

My commission expires: 1-31-2030
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
(Insert name and address)

Ancona Title & Escrow
4750 White Bear Parkway
White Bear Lake, MN 55110

TAX STATEMENTS FOR THE REAL PROPERTY
DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
(Insert legal name and residential or business address of Grantee)

Kristen Salava and Frank Salava and Earl Carlson
27819 438th Lane
Palisade, MN 56469



Septic System Compliance Inspection – Existing System

Date:4/23/2025

Property Owner: Elledge, Timothy and Janice

Ordered By: Kay Hill - Realtor

Address: 27819 438th Lane Palisade MN 56469

Property ID:14-1-071000

Inspector: Tim Woodrow

A compliance inspection was performed at the above location. Soil evaluation was conducted to determine the level of seasonal saturated soil. The Soil Treatment Area (Drain field) was also inspected to ensure there was no ponding or leaking. The septic tank was pumped and inspected. This onsite system was found to be **Compliant.**

- **Impact On Public Health:**
System is Compliant
- **Tank Integrity:**
Tank(s) are compliant
- **Other Compliance Conditions:**
None
- **Soil Separation**
Soils are compliant
- **Operating Permit and Nitrogen BMP**
NA

I have included a copy of the compliance documents for your record. I have also sent a copy to Aitkin County for their records. If you have any questions, please do not hesitate to give us a call.

Thanks!

Tim Woodrow
Owner

218-927-6175

218-927-6175

1037 1st St. NW Aitkin, MN 56431

WWW.TIMBERLAKESSEPTIC.COM

Property Location

Property:	Property Location							Property Attributes		
	Parcel Number	Property Address	Township or City Name	Owner Name(s)	Taxpayer Name(s)	Legal Description	Plat Name	Section-Township-Range	Lake Class	Lake Name
	35-0-025404	37875 495th Ln PALISADE, MN 56469	WAUKENABO TWP	ENG, GARY & STACY	ENG, GARY & STACY	.49 AC LOT 2 IN DOC 429393		S:16 T:49 R:26	RD	ROUND LAKE (WAUKENABO TWP)
Driving directions to the proposed project from Aitkin:	hwy 169 north turn west on 490th turn right on 495th Ln									
Is the above parcel located in the Shoreland Zoning District?	<u>Yes</u>									

Detailed Narrative

<p>Enter a Detailed Narrative (If you have a prepared narrative please state "See attached" and attach the document below):</p>	<p>requesting a variance do to the existing building setback from the lake. i want to add on to the back of the building for a garage and second floor</p>
<p>Attach prepared narrative here:</p>	<p>File 1: lot_drawing.pdf</p>
<p>Provide the Ordinance(s) and the Section(s) of the Ordinance(s) from which you are requesting a variance:</p>	<p>set back from the water</p>

Supplemental Data

<p>Attach completed form here:</p>	<p>File 1: 2415_001.pdf</p>
------------------------------------	---

A Scaled Drawing or Survey

<p>Scaled Drawing or Survey Checklist:</p>	<p><u>Location and dimensions for all lot lines.</u> <u>Location and dimensions of all existing and proposed structures/additions.</u> <u>Location and depth of all existing and proposed wells within 100 feet of the property.</u> <u>Location and dimensions of all existing and proposed septic system components (septic tank, septic drainfield).</u> <u>Location and dimensions of all existing and proposed driveways, road right-of-ways, and easements.</u> <u>Indicate all setback distances for items listed above: ordinary high water level of lakes or rivers, lot lines, road right-of-ways, etc.</u></p>
<p>Attach a Scaled Drawing or Survey:</p>	<p>File 1: 2416_001.pdf</p>

Side Profile Sketch of the Structure

Attach a side profile sketch of your proposed structure or addition here (if applicable):	File 1: 2417_001.pdf File 2: side_view.pdf
---	---

Certificate of Septic Compliance

Attach a copy of one of the following, if applicable: - A current compliance inspection on an existing septic system. - A design for a new/replacement septic system.	File 1: 2418_001.pdf
---	--------------------------------------

Shoreland Performance Worksheet

Complete the Shoreland Performance Worksheet and attach here:	File 1: 2419_001.pdf
---	--------------------------------------

Standard Erosion Control Plan

Attach the completed Standard Erosion Control Plan here:	File 1: 2420_001.pdf
--	--------------------------------------

Property Deed

Attach the property deed:	File 1: 2421_001.pdf
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Terms

General Terms

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.

Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.

I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #71414 (04/13/2026) Expected Payment Method: Unknown

Charge	Cost	Quantity	Total
Recording Fee added 04/13/2026 3:15 PM (Nonrefundable)	\$46.00	x 1	\$46.00
Variance added 04/13/2026 3:15 PM (Nonrefundable)	\$650.00	x 1	\$650.00
Grand Total			
		Total	\$696.00
		Payment 04/13/2026	\$696.00
		Due	\$0.00

[Results \(Go to top\)](#)

Signature accepted

Failed to send [Variance Ready for Action](#) notification to:

Approvals

Approval	Signature
Applicant	online submittal - 04/13/2026 3:38 PM - witnessed by Kim Burton d25b3ff9e9be6f9f0101a29e472f29f4 e41ad2302cd0225140dd6a6aaece6046
#1 Administrative Review	Kim Burton - 04/14/2026 12:59 PM 1aab619238b0b288de9bb4178594b6b3 eb28b5773f6265c6fac827895f759151
#2 Board of Adjustment Approval	

Public Notes

Text:	<div style="border: 1px solid black; height: 300px; width: 100%;"></div>
File(s):	<div style="border: 1px dashed black; height: 30px; width: 100%;"></div>

Admin Checklist

This review has been started by:	Kim Burton ▾
Zoning District of project location:	Shoreland ▾
Project located in the floodplain?	No ▾
Is the parcel a Lot of Record before 1-21-92 or have alternate sites been identified?	Yes ▾
Is this an after-the-fact application?	No ▾

Numbers

	Current Number	Next from Sequence
UID #	222515	<i>not applicable</i>
App. #	<input type="text" value="2026-000147"/>	«« 2026-000150
Permit #	<input type="text"/>	«« 2026-0107

Print View

PART I: SUPPLEMENTAL DATA TO VARIANCE APPLICATION

Aitkin County Environmental Services

307 Second St. NW, Room 219, Aitkin, MN 56431

Phone: 218.927.7342 Fax: 218.927.4372

www.co.aitkin.mn.us

Note: Place an "X" by each item below that applies to your variance request. Then, fill out **only** the applicable following section(s) that apply, as directed. **If a section does not apply to your request, leave it blank.**

What is the reason(s) for applying for the variance? Place an "X" by each applicable item.

- Setback issues for a proposed new structure: **Complete Section 1**
- Setback issues for an alteration to an existing nonconforming structure: **Complete Section 2**
- Setback issues for a septic system: **Complete Section 3**
- Land alteration: **Complete Section 4**
- Creating a lot not in conformance with the minimum Ordinance standards: **Complete Section 5**
- Other: attach separate sheet explaining variance request

Section 1 – New Structure(s)

Check all that apply and fill in requested information:

- Basement One Story Level
- Crawlspace Story-and-a-Half Level
- Walk-out Basement 2nd Story Level

Proposed # of Bedrooms _____ Proposed Structure Height 26 ft.

Existing Total Building Coverage 5.7% Proposed Total Building Coverage 13%

Existing Total Impervious Surface Coverage 10% Proposed Total Impervious Surface Coverage 22.5%

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

New addition	1534 SF
Old Cabin	1140 SF
total	2675 SF

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Structure Type (indicate with or without living quarters) Garage and 2nd
Story With added space

<input checked="" type="checkbox"/> Ordinary High Water Level (OHWL)	Proposed Setback <u>65</u> ft.
<input checked="" type="checkbox"/> Property Line	Proposed Setback <u>28</u> ft.
<input type="checkbox"/> Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
<input type="checkbox"/> Bluff	Proposed Setback _____ ft.
<input type="checkbox"/> Other: _____	Proposed Setback _____ ft.

Section 2 – Alteration(s) to Existing Nonconforming Structure(s)

Check all that apply and fill in requested information:

Existing Structure

Basement
 Crawlspace
 Walk-out Basement
 One Story Level
 Story-and-a-Half Level
 2nd Story Level

Proposed Addition(s)

Basement
 Crawlspace
 Walk-out Basement
 One Story Level
 Story-and-a-Half Level
 2nd Story Level

Existing Structure Height 15 ft.
 Existing # of Bedrooms 2
 Existing Building Coverage 5.4%
 Existing Total Impervious Surface Coverage 10%

Proposed Addition(s) Height 26 ft.
 Final # of bedrooms after remodel 2
 Proposed Building Coverage 12.6%
 Proposed Total Impervious Surface Coverage 22%

“Building Coverage” means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to’s, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

“Impervious surface coverage” means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

add garage and 2nd floor for additional
space

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Alteration Type _____

<input checked="" type="checkbox"/> Ordinary High Water Level (OHWL)	Existing Setback <u>45</u> ft.	Proposed Setback <u>65</u> ft.
<input checked="" type="checkbox"/> Property Line	Existing Setback <u>28</u> ft.	Proposed Setback <u>28</u> ft.
_____ Road Right-of way ___ Twp ___ Co. ___ State	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Bluff	Existing Setback _____ ft.	Proposed Setback _____ ft.
_____ Other: _____	Existing Setback _____ ft.	Proposed Setback _____ ft.

Section 3 – Septic System

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance.

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
_____ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way ___ Twp ___ Co. ___ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 4 – Land Alteration

What is your land alteration? Check all categories that apply and indicate the total amount of excavation or placement of fill.

_____ More than 10 cubic yards on steep slopes and shore and bluff impact zones.	Total Cubic Yds. _____
_____ Other: _____	Total Cubic Yds. _____

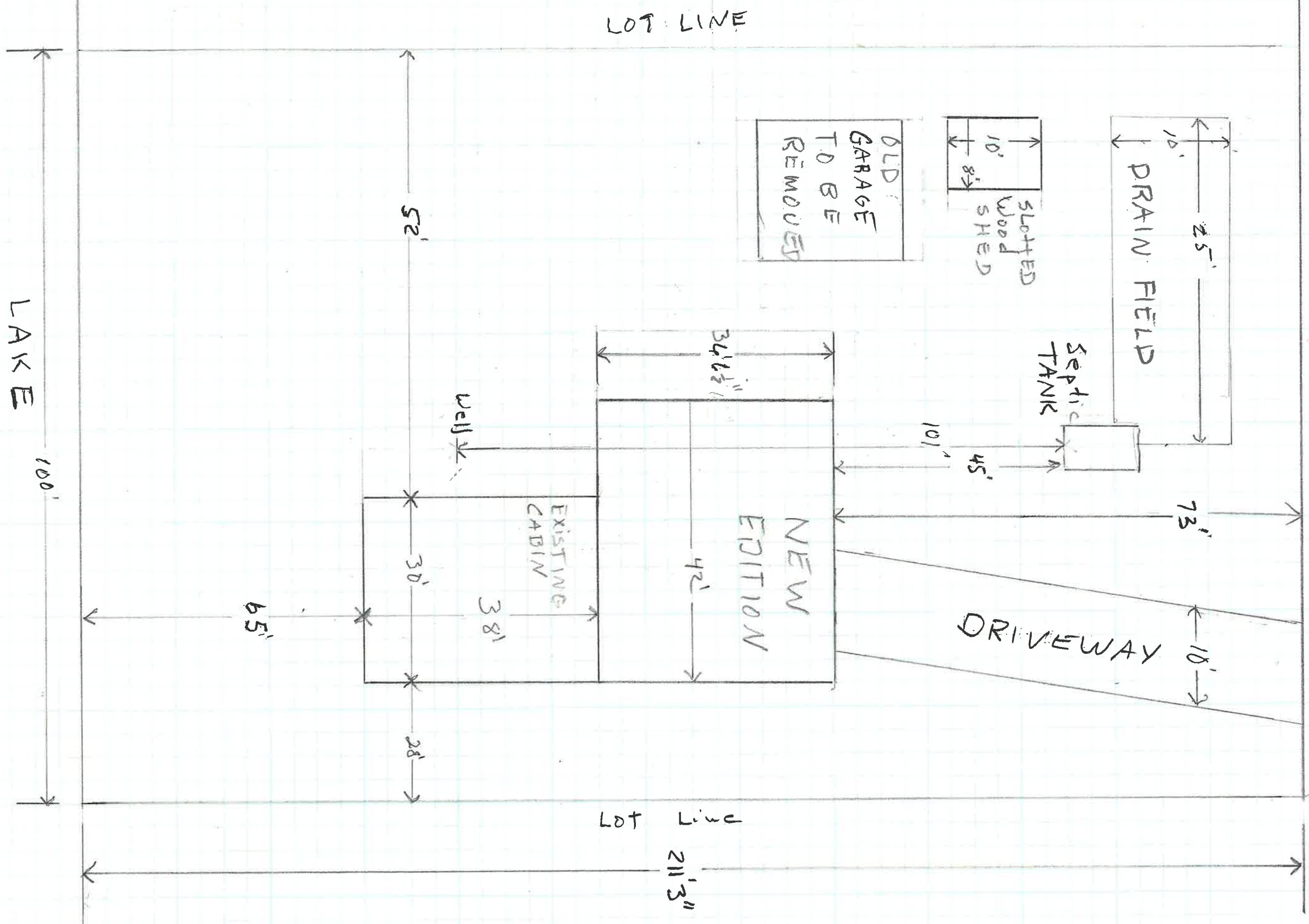
Section 5 – Creating Nonconforming Lot(s)

Check the item(s) from which you are requesting a variance and fill in the proposed dimensions.

_____ Property Width	Proposed Property Width _____
_____ Property Area	Proposed Property Area _____
_____ (2) Standard Septic Sites	
_____ Legal Access	

GARY ENG
37875-455th LANE
PALISADE, 56409

PRIVATE DIRT ROAD



LOT LINE

LOT LINE

211'3"

DRIVEWAY

DRAIN FIELD

Septic TANK

SLOTTED WOOD SHED

BLD GARAGE TO BE REMOVED

NEW EDITION

EXISTING CABIN

Well

LAKE

65'

52'

100'

73'

10'

45'

101'

42'

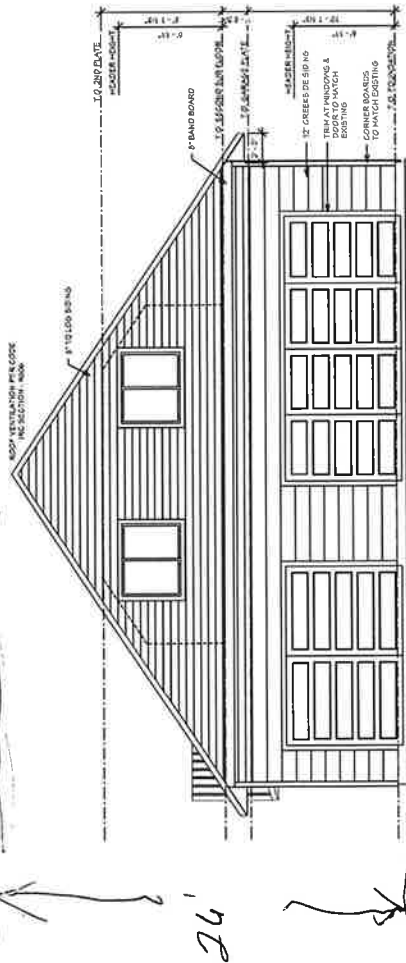
34' 1/2"

38'

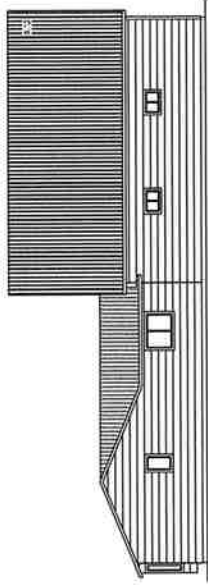
30'

28'

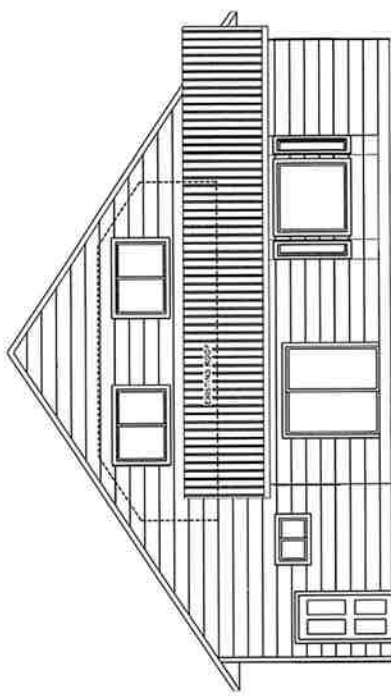
**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**



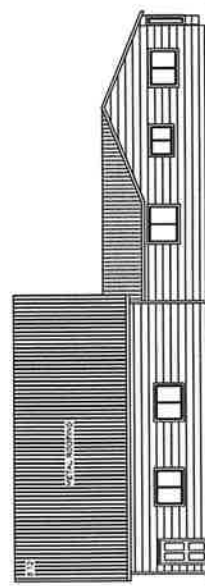
① FRONT ELEVATION
1/8" = 1'-0"



② LEFT ELEVATION
1/8" = 1'-0"



④ REAR ELEVATION
1/8" = 1'-0"



③ RIGHT ELEVATION
1/8" = 1'-0"

GARY & STACY ENG
CABIN REMODEL/GARAGE ADDITION
37875 495TH LANE PALISADE, MN 56469-2448

ELEVATIONS

NO.	DATE	BY	CHKD.
1	02/25	AL	TP
2	4/22	AL	
3	10/12	AL	
4			
5			
6			
7			
8			
9			
10			

ELEVATIONS
A-1

DISCLAIMER OF WARRANTIES
The Design Team warrants that the drawings were prepared by the Design Team and that the Design Team is not responsible for any errors or omissions in the drawings. The Design Team does not warrant that the drawings are complete or that they conform to any applicable codes or regulations. The Design Team is not responsible for any construction or other work that is not shown on the drawings. The Design Team is not responsible for any construction or other work that is not shown on the drawings.



1274 Avenue North, St. Cloud, MN 56303
Phone: (218) 223-1817 www.thedesignteam.net

Compliance inspection report form

Existing Subsurface Sewage Treatment System (SSTS)

Doc Type: Compliance and Enforcement

Instructions: Inspector must submit completed form to Local Governmental Unit (LGU) and system owner within 15 days of final determination of compliance or noncompliance. Instructions for filling out this form are located on the Minnesota Pollution Control Agency (MPCA) website at <https://www.pca.state.mn.us/sites/default/files/wq-wwists4-31a.pdf>.

Property information

Local tracking number: _____

Parcel ID# or Sec/Twp/Range: 35-0-025404 Reason for Inspection App. For Perm.

Local regulatory authority info: Aitkin County Planning and Zoning Phone#218-927-7342

Property address: 37875 495th. Ln., Palisade, MN. 56469

Owner/representative: Gary Eng. Owner's phone: _____

Brief system description: 1350 Gallon Combo tank that pumps up into a 10' x 25' 2' sand base mound.

System status

System status on date (mm/dd/yyyy): 7/29/2025

Compliant – Certificate of compliance*

Noncompliant – Notice of noncompliance

(Valid for 3 years from report date unless evidence of an imminent threat to public health or safety requiring removal and abatement under section 145A.04, subdivision 8 is discovered or a shorter time frame exists in Local Ordinance.)

Systems failing to protect ground water must be upgraded, replaced, or use discontinued within the time required by local ordinance.

***Note: Compliance indicates conformance with Minn. R. 7080.1500 as of system status date above and does not guarantee future performance.**

An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance or under section 145A.04 subdivision 8.

Reason(s) for noncompliance (check all applicable)

- Impact on public health (Compliance component #1) – *Imminent threat to public health and safety*
- Tank integrity (Compliance component #2) – *Failing to protect groundwater*
- Other Compliance Conditions (Compliance component #3) – *Imminent threat to public health and safety*
- Other Compliance Conditions (Compliance component #3) – *Failing to protect groundwater*
- System not abandoned according to Minn. R. 7080.2500 (Compliance component #3) – *Failing to protect groundwater*
- Soil separation (Compliance component #5) – *Failing to protect groundwater*
- Operating permit/monitoring plan requirements (Compliance component #4) – *Noncompliant - local ordinance applies*

Comments or recommendations

Certification

I hereby certify that all the necessary information has been gathered to determine the compliance status of this system. No determination of future system performance has been nor can be made due to unknown conditions during system construction, possible abuse of the system, inadequate maintenance, or future water usage.

By typing my name below, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.

Business name: Farley Sewer Systems Certification number: C-4744

Inspector signature: Jarold R. Farley License number: L-1919

(This document has been electronically signed)

Phone: 218-839-4737

Necessary or locally required supporting documentation (must be attached)

- Soil observation logs
- System/As-Built
- Locally required forms
- Tank Integrity Assessment
- Operating Permit
- Other information (list): _____

1. Impact on public health – Compliance component #1 of 5

Compliance criteria:

System discharges sewage to the ground surface	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
System discharges sewage to drain tile or surface waters.	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
System causes sewage backup into dwelling or establishment.	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No

Any "yes" answer above indicates the system is an imminent threat to public health and safety.

Describe verification methods and results:

Attached supporting documentation:

- Other: _____
- Not applicable

2. Tank integrity – Compliance component #2 of 5

Compliance criteria:

System consists of a seepage pit, cesspool, drywell, leaching pit, or other pit?	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
Sewage tank(s) leak below their designed operating depth?	<input type="checkbox"/> Yes* <input checked="" type="checkbox"/> No
If yes, which sewage tank(s) leaks:	

Any "yes" answer above indicates the system is failing to protect groundwater.

Describe verification methods and results:

Attached supporting documentation:

- Empty tank(s) viewed by inspector
- Name of maintenance business: Kangas Ent.
- License number of maintenance business: L-1919
- Date of maintenance: 7/29/2025
- Existing tank integrity assessment (Attach)
- Date of maintenance (mm/dd/yyyy): _____ (must be within three years)
- (See form instructions to ensure assessment complies with Minn. R. 7082.0700 subp. 4 B (1))*
- Tank is Noncompliant (pumping not necessary – explain below)
- Other: _____

3. Other compliance conditions – Compliance component #3 of 5

3a. Maintenance hole covers appear to be structurally unsound (damaged, cracked, etc.), or unsecured?

Yes* No Unknown

3b. Other issues (electrical hazards, etc.) to immediately and adversely impact public health or safety? Yes* No Unknown

***Yes to 3a or 3b - System is an imminent threat to public health and safety.**

3c. System is non-protective of ground water for other conditions as determined by inspector?

Yes* No

3d. System not abandoned in accordance with Minn. R. 7080.2500?

Yes* No

***Yes to 3c or 3d - System is failing to protect groundwater.**

Describe verification methods and results:

Attached supporting documentation: Not applicable

4. Operating permit and nitrogen BMP* – Compliance component #4 of 5 Not applicable

Is the system operated under an Operating Permit?

Yes No If "yes", A below is required

Is the system required to employ a Nitrogen BMP specified in the system design? Yes No

If "yes", B below is required

BMP = Best Management Practice(s) specified in the system design

If the answer to both questions is "no", this section does not need to be completed.

Compliance criteria:

a. Have the operating permit requirements been met?

Yes No

b. Is the required nitrogen BMP in place and properly functioning?

Yes No

Any "no" answer indicates noncompliance.

Describe verification methods and results:

Attached supporting documentation: Operating permit (Attach)

5. Soil separation – Compliance component #5 of 5

Date of installation _____ Unknown
(mm/dd/yyyy)

Shoreland/Wellhead protection/Food beverage lodging? Yes No

Compliance criteria (select one):

5a. For systems built prior to April 1, 1996, and not located in Shoreland or Wellhead Protection Area or not serving a food, beverage or lodging establishment: Yes No*
 Drainfield has at least a two-foot vertical separation distance from periodically saturated soil or bedrock.

5b. Non-performance systems built April 1, 1996, or later or for non-performance systems located in Shoreland or Wellhead Protection Areas or serving a food, beverage, or lodging establishment: Yes No*
 Drainfield has a three-foot vertical separation distance from periodically saturated soil or bedrock.*

5c. "Experimental", "Other", or "Performance" systems built under pre-2008 Rules; Type IV or V systems built under 2008 Rules 7080.2350 or 7080.2400 (Intermediate Inspector License required ≤ 2,500 gallons per day; Advanced Inspector License required > 2,500 gallons per day) Yes No*
 Drainfield meets the designed vertical separation distance from periodically saturated soil or bedrock.

***Any "no" answer above indicates the system is failing to protect groundwater.**

Describe verification methods and results:

Attached supporting documentation:

- Soil observation logs completed for the report
- Two previous verifications of required vertical separation
- Not applicable (No soil treatment area)
- _____

Indicate depths or elevations

A. Bottom of distribution media	102
B. Periodically saturated soil/bedrock	99
C. System separation	36"
D. Required compliance separation*	36"

*May be reduced up to 15 percent if allowed by Local Ordinance.

Upgrade requirements: (Minn. Stat. § 115.55) An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance. If the system is failing to protect ground water, the system must be upgraded, replaced, or its use discontinued within the time required by local ordinance. If an existing system is not failing as defined in law, and has at least two feet of design soil separation, then the system need not be upgraded, repaired, replaced, or its use discontinued, notwithstanding any local ordinance that is more strict. This provision does not apply to systems in shoreland areas, Wellhead Protection Areas, or those used in connection with food, beverage, and lodging establishments as defined in law.

Jarold

FARLEY SEWER SYSTEMS

SEWER DESIGN & INSTALLATION

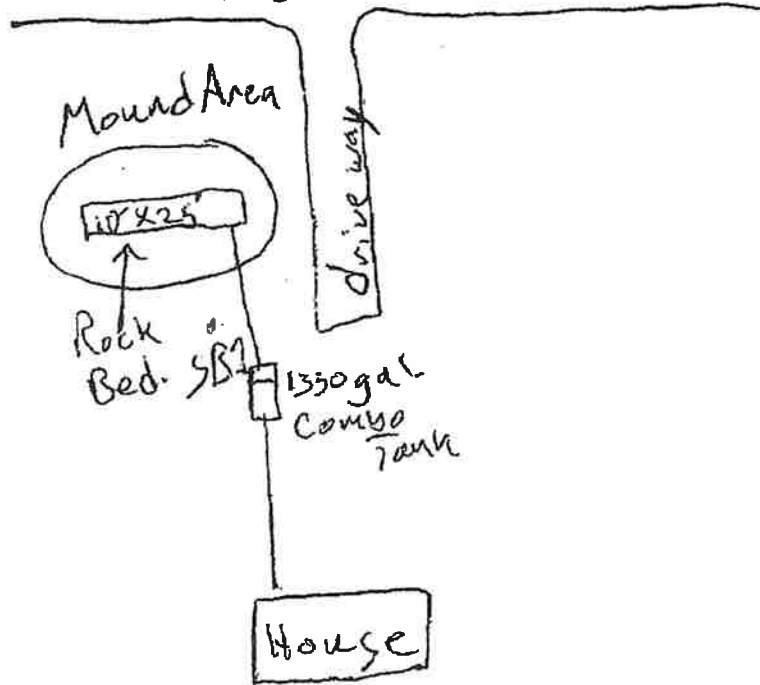
JAROLD R. FARLEY

P.O. Box 472
McGregor, MN 55760

Bus. Lic. No. L1919
Reg. No. 4744

218-839-4737 cell

445TH LN.



North

Round Lake

Soil Boring INFO:

0-6" Topsoil 10yR3/2

6-12" Very Fine Sandy Loam 10yR4/4
Mottles @ 12"

AITKIN COUNTY SHORELAND PERFORMANCE (Structure Placement Guidance)

A property should obtain a score of 100 or more to meet performance standard requirements. A conforming lot is assigned a score of 100. A lot is deemed conforming when the structure meets the required setbacks to the protected water as specified in the Aitkin County Shoreland Management Ordinance (SMO). A structure that fails to meet this definition is considered non-conforming.

To determine the level of non-conformance and score (See Reference Table):

- 1) Determine the DNR classification of the protected water on the lot (SMO-4.13 & 4.14) 1: 100
- 2) Determine the required "Structure Setback" to that classification of water (SMO 5.2) 2: 100
- 3) Determine the "Actual Setback" of the structure by measuring the closest part of the structure to the protected water "right-of-way, property line, etc. for which a variance is sought" 3: 65
- 4) Enter the corresponding "Score Multiplier" 4: 1.00
- 5) Pre-mitigation "Lot Score": Determine the percentage of the encroachment as it relates to the standard setback by multiplying the Actual Setback with the "Score Multiplier" (Note: round to the nearest whole number) 5: 65

Reference Table: Performance Multipliers for structures, septic, bluff, and sidelots in Aitkin County.

Protected Waters Type (DNR Classification; SMO 4.13-4.14)	Required Structure Setback	Score Multiplier Structures	Required Septic Setback	Score Multiplier Septic	Score Multiplier Bluff	Score Multiplier Sidelot
General Development Lake	75'	1.333	75'	1.333	(30' setback)	(10' setback)
Recreational Development Lake	100'	1.000	75'	1.333		
Natural Environment Lake	150'	0.667	150'	0.667	3.33	10.000
Mississippi River	150'	0.667	125'	0.800		
Tributary Stream	100'	1.000	75'	1.333		
Forested Stream	150'	0.667	100'	1.000		
Remote Stream	200'	0.500	150'	0.667		

Mitigation: To bring a non-conforming structure to a score of 100 the landowner conducts and maintains one or more of the below listed mitigating activities:

- (A) Zone A(1): Plant and/or maintain a 12.5' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal. * Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c) 15 points
- B) Zone A(2): Plant and/or maintain a 25' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal. * Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c) 30 points
- B) Zone B: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone A landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal. * A ten-foot (10') access path is allowed 20 points
- C) Zone C: Plant and/or maintain an additional 12.5' wide natural vegetated buffer zone between Zone B landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal. * A ten-foot (10') access path is allowed 10 points
- (D) Construction of rain garden(s) to Wisconsin DNR Manual specifications 20 points
- E) Removal of all other structures that do not meet the standard building setbacks, including water oriented structures 20 points
- F) Removal of impervious surfaces to at least half ordinance limits (SMO 5.52.A) 10 points
- G) Removal of fill all placed in historic wetlands and guarantee of no future wetland fill recorded on deed 10 points
- H) Re-vegetate bluff or steep slopes* and provide screening of structures from the lake 10 points
- I) Diversion of all water runoff from impervious surfaces away from the lake into retention ponds, subsurface drains, wetlands, etc. with no outlet to the lake or tributary 10 points
- J) Existing conditions may apply on the property that warrant credit: To be determined by P&Z

Final Score = Pre-mitigation Lot Score (Line 5) 65 + Mitigation Totals (Lines A-J) 45 = 100

*Note: Plant materials for vegetative buffers shall be native to northern Minnesota. For every 5,000 square feet of buffer area, there shall be a minimum of four types of trees, six types of shrubs, seven forbs, and three grasses planted to achieve a one plant per square foot minimum coverage. Survival of all plants must be guaranteed for a minimum of 5 years

Board of Adjustment Chairperson


Applicant

PART VII: STANDARD EROSION CONTROL PLAN

According to Aitkin County's Shoreland Management Ordinance, soil erosion control information needs to be included on the site plan which is submitted and approved prior to the issuance of zoning permits. The Standard Erosion Control Plan is provided to assist in meeting this requirement.

Instructions:

1. Complete this plan by filling in requested information, completing the site diagram and marking appropriate boxes on the inside of this form.
2. In completing the site diagram, give consideration to potential erosion that may occur before, during and after grading. Water runoff patterns can change significantly as a site is reshaped.
3. A cross section sheet is required for walkout basements and excavations into hillsides for determining volume of fill to be excavated.

Project Location _____

Builder _____ Owner _____

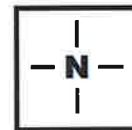
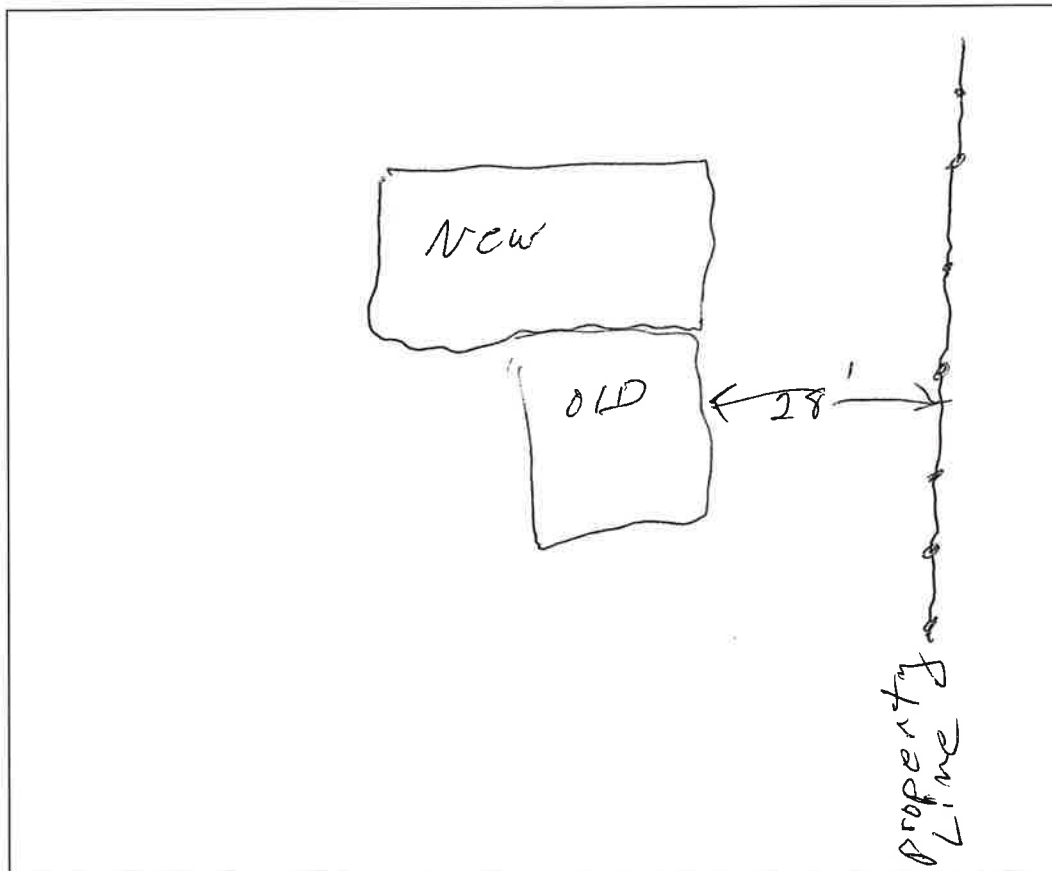
Worksheet Completed By _____ Date _____

Amount of earthen material to be excavated and/or used for fill _____ cubic yards.

SITE DIAGRAM

Scale 1 inch = _____ feet

Please indicate north by completing the arrow.



EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- EXISTING DRAINAGE
- TD TEMPORARY DIVERSION
- FINISHED DRAINAGE
- LIMITS OF GRADING
- SILT FENCE
- STRAW BALES
- ☐ GRVEL
- ① VEGETATION SPECIFICATION
- ☐ TREE PRESERVATION
- ⊗ STOCKPILED SOIL

CRV Not Required
No Delinquent Taxes and Transfer Entered
Kirk Peysar, County Auditor

Doc No: **A462685**

PRO 3/3

Certified Filed and/or Recorded on
3/8/2021 9:00 AM

REC FEE \$46.00

Office of the County Recorder
Aitkin County, Minnesota
Michael T. Moriarty, County Recorder

Package: **70925** Liz

This cover sheet was added by the Aitkin County Recorder's Office to allow space for the recording information of this document. It is not intended to alter the document/certified copy.

This cover sheet is now a permanent part of the recorded document.

(Top 3 inches reserved for recording data)

DEED OF DISTRIBUTION

by Individual Personal Representative

NO DEED TAX DUE

DATE: 02/22/2021

James Michael Eng, as Personal Representative of the Estate of **LeaAnn Katherine Eng, a/k/a LeaAnn K. Eng, a/k/a Lea Ann K. Eng**, Decedent ("Grantor"), hereby conveys and quitclaims to **Gary R. Eng and Stacy A. Eng** ("Grantee"), real property in Aitkin County, Minnesota, legally described as follows:

SEE ATTACHED EXHIBIT A.

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto.

Grantor

By: 

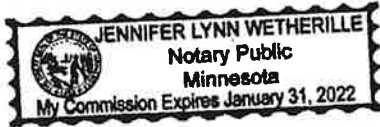
James Michael Eng - Personal Representative

Note: This deed should be used only for distribution.

State of Minnesota, County of Scott

This instrument was acknowledged before me on Feb. 22, 2021, by **James Michael Eng**, as Personal Representative of the Estate of **LeaAnn Katherine Eng, a/k/a LeaAnn K. Eng, a/k/a Lea Ann K. Eng, Decedent.**

(Stamp)



[Handwritten Signature]
(signature of notarial officer)

Title (and Rank): _____

My commission expires: 1-31-22
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
Nicole A. Raebel
Jaspers, Moriarty & Wetherille, P.A.
206 Scott Street
Shakopee, MN 55379
(952) 445-2817

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:

Gary and Stacy Eng
7221 169th St. East
Prior Lake, MN 55372

→ All that part of Government Lot Two (2), Section Sixteen (16), Township Forty-nine (49), Range Twenty-six (26), described as follows:

Commencing at the Meander Corner on the shore of Round Lake between Sections 16 and 17, Township Forty-nine (49), Range Twenty-six (26); thence North along said section line Two hundred nineteen and five tenths (219.5) feet to the road right-of-way; thence South 89 degrees 48 minutes East Four hundred ninety-six and six tenths (496.6) feet along the said road right-of-way; thence South 85 degrees 45 minutes East One hundred twenty-one (121) feet along the said road right-of-way to the place of beginning; thence South 4 degrees 53 minutes West Two hundred eleven and three tenths (211.3) feet to the shore of Round Lake; thence South 85 degrees 15 minutes East One hundred (100) feet along the shore of said lake; thence North 4 degrees 53 minutes East Two hundred-twelve and two tenths (212.2) feet to the road right-of-way; thence North 85 degrees 45 minutes West One hundred (100) feet along the said road right-of-way to the place of beginning. Tract extends to the waters edge.

Subject to restrictions, reservations or easements of record, if any.

